

**City of Madras**  
**Burden of Proof Narrative**  
*Emergency Shelter – City of Madras*

**APPLICANT/  
OWNER:** City of Madras  
125 SW E Street  
Madras, OR 97741

**ARCHITECT:** BLRB Architects P.S.  
Eric Nielsen  
721 SW Industrial Way, Suite 130  
Bend, OR 97702

**ENGINEER:** HWA  
Grant Hardgrave, PE  
62930 O.B. Riley Road, Suite 100  
Bend OR 97703

**PLANNER:** Blackmore Planning and Development Services, LLC  
Greg Blackmore, Principal Planner  
19454 Sunshine Way  
Bend, OR 97702

**LOCATION:** The site is located on NW 4<sup>th</sup> Street at the wester terminus of Oak Street. The address is 61 NW Oak Street, which is identified as Tax Lot 502 on the Jefferson County Tax Assessor’s Map 11-13-02 DD.

**ZONING:** Corridor Commercial (C-1)

**REQUEST:** The applicant is requesting 3,760 square foot, 1-story, emergency shelter.

**I. PROCEDURES, STANDARDS, AND APPROVAL CRITERIA**

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- *City of Madras Emergency Shelter Super Siting Application - <https://www.ci.madras.or.us/commdev/page/emergency-shelter-super-siting-application>*
- *Oregon House Bill 2006*

**II. EXHIBITS**

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- Architectural Plan Set

### III. BASIC FACTS

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1. **PROPERTY LOCATION:**

The site is located on NW 4<sup>th</sup> Street at the wester terminus of Oak Street. The address is 61 NW Oak Street, which is identified as Tax Lot 502 on the Jefferson County Tax Assessor's Map 11-13-02 DD.

2. **ZONING AND COMPREHENSIVE PLAN DESIGNATION:**

The property is designated Corridor Commercial (C-1) on the City of Madras Urban Area Comprehensive Plan and Zoning Map.

3. **SITE DESCRIPTION AND SURROUNDING USES:**

The subject property is situated upon varied topography, which slopes to the east (toward NW 4<sup>th</sup> Street). To the north, west and south is undeveloped land. To the east is commercially zoned land that is developed with a Sonic Drive-In restaurant.



4. **PROPOSAL:**

The applicant is requesting 3,760 square foot, 1-story, emergency shelter.

## **IV. CONFORMANCE WITH CITY OF MADRAS APPROVAL CRITERIA**

### **Application Requirements**

The Emergency Shelter Super Siting application submitted to the City of Madras must demonstrate the following:

- **The Emergency Shelter:**
  - **Includes sleeping and restroom facilities**
  - **Will comply with applicable building codes**
  - **Is located within the City's urban growth boundary**
  - **Will not result in a new building that is sited within an area designated under a statewide land use planning goal relating to natural disasters and hazards (e.g. flood plains or mapped environmental health hazards) unless the development complies with regulations directly related to the hazard**
  - **Has adequate transportation access to medical and commercial services**
  - **Will not pose any unreasonable risk to public health or safety**

**Applicant Response:** As documented on the Plan Set, the design includes sleeping facilities. Also, the submittal packet includes a Building Code Analysis, which documents conformance with all applicable building codes, and as a standard procedure prior to construction, the applicant will be required to submit and be issued a building permit from the authorizing jurisdiction, which will be based upon a detailed assessment of building code compliance. Regarding location, the property is situated within the Madras Urban Growth Boundary (UGB) and it is not in a natural disaster area. Regarding access, the emergency shelter will have access to NW 4<sup>th</sup> Street, which is a public street and is connected to the City-wide transportation system that connects to medical and commercial services. Lastly, given that the proposal is an allowed use that will be built to all building code standards and that conforms to all local rules and regulations, it will not pose a risk to public health or safety.

Overall, the proposed development conforms to these requirements.

- **The Emergency Shelter must be operated by:**
  - **A local government, or**
  - **A religious corporation,**
  - **A public benefit corporation whose charitable purpose includes the support of homeless individuals and that has been recognized as exempt from income tax under section 501(a) of the Internal Revenue Code on or before January 1, 2017, or**
  - **A nonprofit corporation partnering with any of those entities.**

**Applicant Response:** The property is owned by the City of Madras, a local government, and the shelter will be operated by Jefferson County Faith Based Network. The City plans to ensure that the operator will continually be one of the entity types established in this section.

- **Additionally, an Emergency Shelter may provide on-site and at no cost:**
  - **Showering and bathing facilities**
  - **Personal property storage**
  - **Laundry**
  - **Food service**
  - **Recreation areas for children and pets**
  - **Case management services, or**
  - **Any other services incidental to the shelter**
- **An Emergency Shelter may include youth shelters, veterans' shelters, winter or warming shelters, day shelters and family violence shelter homes.**
- **An Emergency Shelter may provide additional transitional housing services at a fee of not more than \$300/month.**

**Applicant Response:** The provisions of these sections are permissive, but not required or mandatory.

**Applicants have until June 30, 2022 to submit their Emergency Shelter Super Siting application. Applications received after June 30, 2022 are not eligible for the Emergency Shelter Super Siting process.**

**State law does not set a deadline for the City to make a decision on an Emergency Shelter Super Siting application.**

**Applicant Response:** The application is being submitted prior to June 30, 2022, which conforms to the requirements of this section. While state law does not set a deadline on how long a City has to make a decision, the applicant anticipates that a timely decision will be made.

#### **What is the public engagement process for super siting applications?**

This is a special application process mandated by state law ([HB 2006](#)). A decision on an Emergency Shelter Super Siting application is not a land use decision, so the Emergency Shelter Super Siting process does not follow the typical land use process. State law does not require mailed notice of an Emergency Shelter Super Siting application to adjacent or nearby property owners and residents nor does it require a public hearing or other solicitation of public comment.

#### **Who is the decision maker for the City of Madras' Emergency Shelter Super Siting Applications?**

The Community Development Director will make the decision on an Emergency Shelter Super Siting application based on the requirements in HB 2006.

### **Can an Emergency Shelter Super Siting decision be appealed?**

Yes, an Emergency Shelter Super Siting decision may be appealed to the Jefferson County Circuit Court within 60 days of the date of the decision utilizing the writ of review process in Chapter 34 of the Oregon Revised Statutes.

**Applicant Response:** These provisions are informational. The applicant anticipates that the decision will be made according to these provisions.

## **V. CONFORMANCE WITH HB 2006**

---

**SECTION 3. (1) A local government shall approve an application for the development or use of land for an emergency shelter, as defined in section 2 of this 2021 Act, on any property, notwithstanding ORS chapter 195, 197, 197A, 215 or 227 or any statewide plan, rule of the Land Conservation and Development Commission or local land use regulation, zoning ordinance, regional framework plan, functional plan or comprehensive plan, if the emergency shelter:**

- (a) Includes sleeping and restroom facilities for clients;**
- (b) Will comply with applicable building codes;**
- (c) Is located inside an urban growth boundary or in an area zoned for rural residential use as defined in ORS 215.501;**
- (d) Will not result in the development of a new building that is sited within an area designated under a statewide planning goal relating to natural disasters and hazards, including flood plains or mapped environmental health hazards, unless the development complies with regulations directly related to the hazard;**
- (e) Has adequate transportation access to commercial and medical services; and**
- (f) Will not pose any unreasonable risk to public health or safety.**

**(2) An emergency shelter allowed under this section must be operated by:**

- (a) A local government as defined in ORS 174.116;**
- (b) An organization with at least two years' experience operating an emergency shelter using best practices that is:**
  - (A) A local housing authority as defined in ORS 456.375;**
  - (B) A religious corporation as defined in ORS 65.001; or**
  - (C) A public benefit corporation, as defined in ORS 65.001, whose charitable purpose includes the support of homeless individuals, that has been recognized as exempt from income tax under section 501(a) of the Internal Revenue Code on or before January 1, 2018; or**
- (c) A nonprofit corporation partnering with any other entity described in this subsection.**

**(3) An emergency shelter approved under this section:**

**(a) May provide on-site for its clients and at no cost to the clients:**

- (A) Showering or bathing;**
- (B) Storage for personal property;**
- (C) Laundry facilities;**
- (D) Service of food prepared on-site or off-site;**
- (E) Recreation areas for children and pets;**
- (F) Case management services for housing, financial, vocational, educational or physical or behavioral health care services; or**
- (G) Any other services incidental to shelter.**

**(b) May include youth shelters, winter or warming shelters, day shelters and family violence shelter homes as defined in ORS 409.290.**

**(4) An emergency shelter approved under this section may also provide additional services not described in subsection (3) of this section to individuals who are transitioning from unsheltered homeless status. An organization providing services under this subsection may charge a fee of no more than \$300 per month per client and only to clients who are financially able to pay the fee and who request the services.**

**Applicant Response:** The City of Madras Approval Criteria are nearly identical to the HB 2006 Criteria of this section. The above noted finding (addressing the City of Madras Approval Criteria) address all of these criteria.

## **VI. SUMMARY AND CONCLUSION**

---

The preceding sections document that the proposal conforms to the applicable Standards and Criteria. Because the proposal conforms to all applicable criteria and standards, the applicant respectfully requests that the City approve the Emergency Shelter application as proposed.

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# MADRAS SHELTER

## CITY OF MADRAS

3/29/2022

### DD - PROGRESS

#### PROJECT ADDRESS

61 NW Oak Street  
Madras, OR 97741

#### OWNER

CITY OF MADRAS  
125 SW E Street  
Madras, OR 97741  
Phone: 541-325-0308  
Contact: Gus Burriel

#### ARCHITECT

BLRB ARCHITECTS P.S.  
721 SW Industrial Way, Suite 130  
Bend, OR 97702  
Phone: 541-330-6506  
Contact: Eric Nielsen

#### LAND USE PLANNING

BLACKMORE PLANNING & DEVELOPMENT SERVICES  
Phone: 541-419-1455  
Contact: Greg Blackmore

#### GEOTECHNICAL ENGINEER

THE WALLACE GROUP  
62915 NE 18th Street, Suite 1  
Bend, OR 97701  
Phone: 541-382-4707  
Contact: Adam Larson

#### CIVIL ENGINEER

HWA  
62930 O.B. Riley Road, Suite 100  
Bend, OR 97703  
Phone: 541-389-9351  
Contact: Grant Hardgrave

#### LANDSCAPE ARCHITECT

SZABO LANDSCAPE ARCHITECTURE  
1000 NW Wall Street, Suite 270  
Bend, OR 97703  
Phone: 541-382-2059  
Contact: Brian Nerman

#### STRUCTURAL ENGINEER

WALKER STRUCTURAL ENGINEERING  
2863 NW Crossing Drive, Suite 201  
Bend, OR 97703  
Phone: 541-330-6869  
Contact: Craig Davis

#### MECHANICAL / ELECTRICAL ENGINEER

SAZAN GROUP  
111 Southwest Fifth Avenue, Suite 3210  
Portland, OR 97204  
Phone: 503-416-2400  
Contact: Daniel Touger



#### BLRB architects

TACOMA | SPOKANE | PORTLAND | BEND

1250 Pacific Ave Suite 100 WA 98402 253.627.5999	421 W Riverside Ave Suite 511 WA 99201 509.252.5080	621 SW Morrison St Suite 950 OR 97205 503.595.0270	721 SW Industrial Suite 130 OR 97702 541.330.6506
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3/29/2022  
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DD - PROGRESS  
COVER SHEET  
A0.01



# MADRAS SHELTER

## 022044.000

61 NW OAK STREET  
MADRAS, OR 97741

BLRB architects

TACOMA | SPOKANE | PORTLAND | BEND  
621 SW Morrison St. Suite 130  
MADRAS, OR 97741  
PHONE: 541-475-2344  
CONTACT: GUS BURRILL

1260 Pacific Ave. Suite 500  
WA 98201  
509.252.5980  
253.627.6599

FOR REFERENCE ONLY

Stamp

DRAWING REVISIONS

Date

#

MADRAS SHELTER

CITY OF MADRAS

DD - PROGRESS

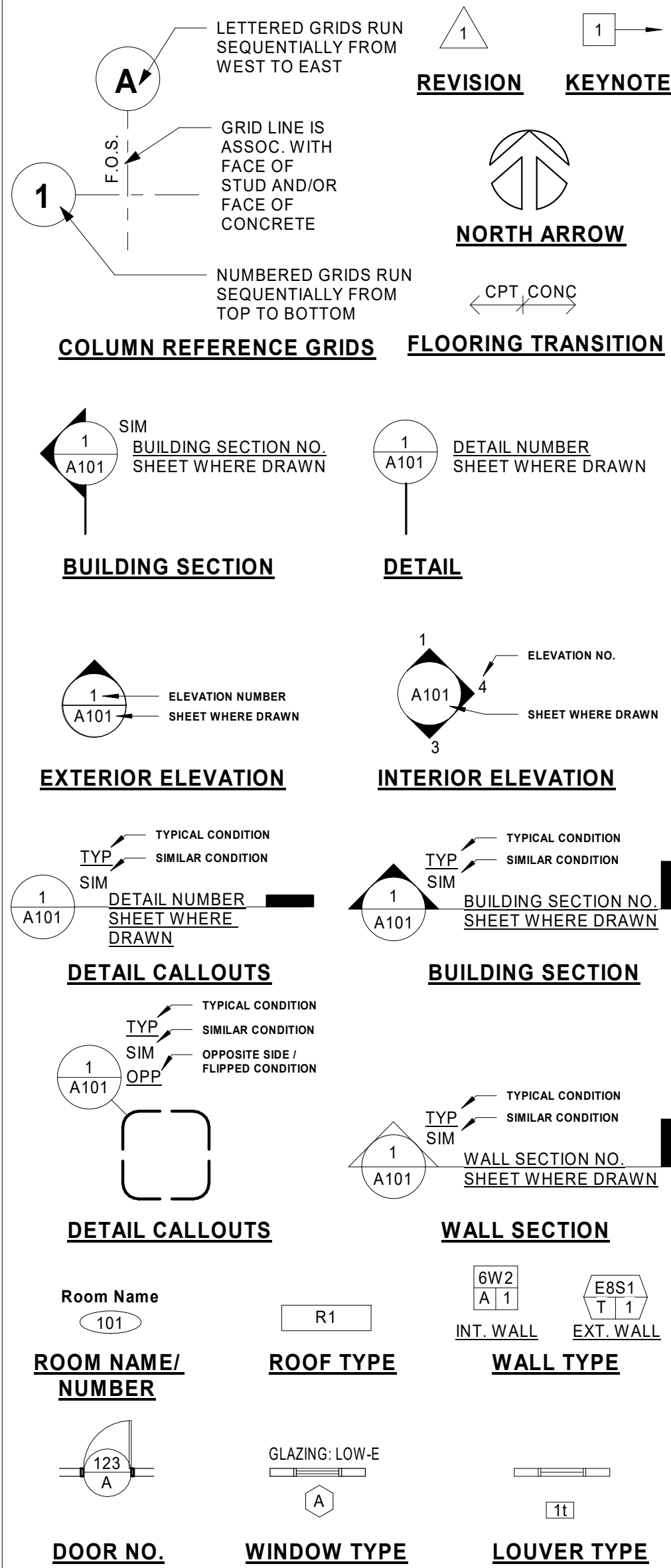
PROJECT INFORMATION

Sheet No.

A0.02

BLRB ARCHITECTS, P.S.

### ARCHITECTURAL SYMBOLS



### ABBREVIATIONS

AB	ANCHOR BOLT	NO	NUMBER
AFF	ABOVE FINISHED FLOOR	NTS	NOT TO SCALE
AL	ALUMINUM	OC	ON CENTER
BD	BOARD	OD	OVERFLOW DRAIN
BFF	BELOW FINISHED FLOOR	OFCI	OWNER FURNISHED / CONTRACTOR INSTALLED
BLDG	BUILDING	OFOI	OWNER FURNISHED / OWNER INSTALLED
BO	BOTTOM OF	OPG	OPENING
CLG	CEILING	OVHD	OVERHEAD
CMU	CONCRETE MASONRY UNIT	PL	PLATE
CONC	CONCRETE	PPM	PRE-PAINTED METAL
CONT	CONTINUOUS	R	RISER
DIA	DIAMETER	RAD	RADIUS
DIM	DIMENSION	RD	ROOF DRAIN
DN	DOWN	REF	REFERENCE
DWG	DRAWING	REINF	REINFORCING
EA	EACH	REQ	REQUIREMENT
ELEV	ELEVATION	SEC	SECTION
EQ	EQUAL	SHTNG	SHEATHING
EXP	EXPANSION	SHT	SHEET
FD	FLOOR DRAIN	SIM	SIMILAR
FE	FIRE EXTINGUISHER	SPEC	SPECIFICATION
FF	FINISHED FLOOR	SO	SQUARE
FIN	FINISH	STD	STANDARD
FOB	FACE OF BRICK	STL	STEEL
FOC	FACE OF CONCRETE	STR	STRUCTURAL
FOF	FACE OF FOUNDATION	TEL	TELEPHONE
FOS	FACE OF STUD	TFCI	TENANT FURNISHED / CONTRACTOR INSTALLED
FT	FOOT	TFTI	TENANT FURNISHED / TENANT INSTALLED
GA	GAUGE	TO	TOP OF
GALV	GALVANIZED	TOB	TOP OF BRICK
GYP	GYP SUM	TOC	TOP OF CURB
GWB	GYP SUM WALL BOARD	TOW	TOP OF WALL
HB	HOSE BIB	TYP	TYPICAL
HM	HOLLOW METAL	UNO	UNLESS OTHERWISE NOTED
HR	HOUR	VIF	VERIFY IN FIELD
ID	INSIDE DIAMETER	W/	WITH
INSUL	INSULATION	WO	WITHOUT
JT	JOINT	WD	WOOD
MAX	MAXIMUM	WP	WATERPROOF
MTL	METAL	WR	WATER RESISTANT
MFR	MANUFACTURER	WT	WEIGHT
MIN	MINIMUM		
MIR	MIRRORED		
NC	NON-COMBUSTIBLE		
NIC	NOT IN CONTRACT		

### VICINITY MAP



### PROJECT INFORMATION

**OWNER:**  
CITY OF MADRAS  
125 SW E STREET  
MADRAS, OR 97741  
PHONE: 541-475-2344  
CONTACT: GUS BURRILL

**PROJECT ADDRESS:**  
61 NW OAK STREET  
MADRAS, OR 97741

**TAX LOT ID:**  
111302DD00502

### PROJECT DESCRIPTION

**PROGRAM:**  
RESIDENTIAL TEMPORARY (LESS THAN 30 DAYS) SHELTER FOR +/-25 RESIDENTIAL OCCUPANTS AND 2 MANAGEMENT RESIDENTS.

**BUILDING:**  
ONE-STORY WOOD-FRAMED BUILDING WITH FIRE SPRINKLERS

**SITE WORK:**  
NEW PARKING AREAS, LANDSCAPING, UTILITIES, TRASH ENCLOSURE, AND STORMWATER INFRASTRUCTURE.

### PROJECT DATA

**JURISDICTION:**  
CITY OF MADRAS

**BUILDING CODES:**  
2019 OREGON STRUCTURAL SPECIALTY CODE (OSSC)  
BASED ON 2018 INTERNATIONAL BUILDING CODE (IBC)  
W/ OREGON STATE CHAPTER 1 INTERIM AMENDMENTS

2021 OREGON ENERGY EFFICIENCY SPECIALTY CODE (OEEESC)  
REFERENCES ASHRAE STANDARD 90.1-2019

2021 OREGON ELECTRICAL SPECIALTY CODE (OESC)  
BASED ON THE 2020 NFPA 70 - NATIONAL ELECTRICAL CODE (NEC)  
W/ OREGON AMENDMENTS TO THE 2020 NEC

2019 OREGON MECHANICAL SPECIALTY CODE (OMSC)  
BASED ON THE 2018 INTERNATIONAL MECHANICAL CODE (IMC) AND INTERNATIONAL FUEL GAS CODE (IFGC)

2021 OREGON PLUMBING SPECIALTY CODE (OPSC)  
BASED ON THE 2021 UNIFORM PLUMBING CODE (UPC)

**ACCESSIBILITY:**  
2019 OSSC - CHAPTER 11 & APPENDIX E  
ICC/ANSI A117.1-2009 (REFERENCED BY IBC)

**ZONING:**  
USE: RESIDENTIAL BOARDING HOUSE  
ZONING DESIGNATION: CORRIDOR COMMERCIAL (C-1)  
SEE CODE INFORMATION SHEET FOR ADDITIONAL INFORMATION

**VEHICLE PARKING SPACES:**  
23 SPACES

**BICYCLE SPACES:**  
6 SPACES

**SITE AREA:**  
33,920 SF

**OCCUPANCY:**  
USE: BOARDING HOUSE (TRANSIENT) WITH MORE THAN 10 OCCUPANTS  
OCCUPANCY GROUPS: A-2, B, R-1, S-1  
SEPARATED/NONSEPARATED: NONSEPARATED

**CONSTRUCTION TYPE:**  
TYPE: VB  
AUTOMATIC FIRE SPRINKLER:  
NFPA 13R (OSSC 903.3.1.2)  
W/ QUICK RESPONSE -or-  
RESIDENTIAL AUTOMATIC SPRINKLERS (OSSC 903.3.2)

**BUILDING AREA:**  
GROUND FLOOR (SINGLE-STORY): 3,760 SQ FT

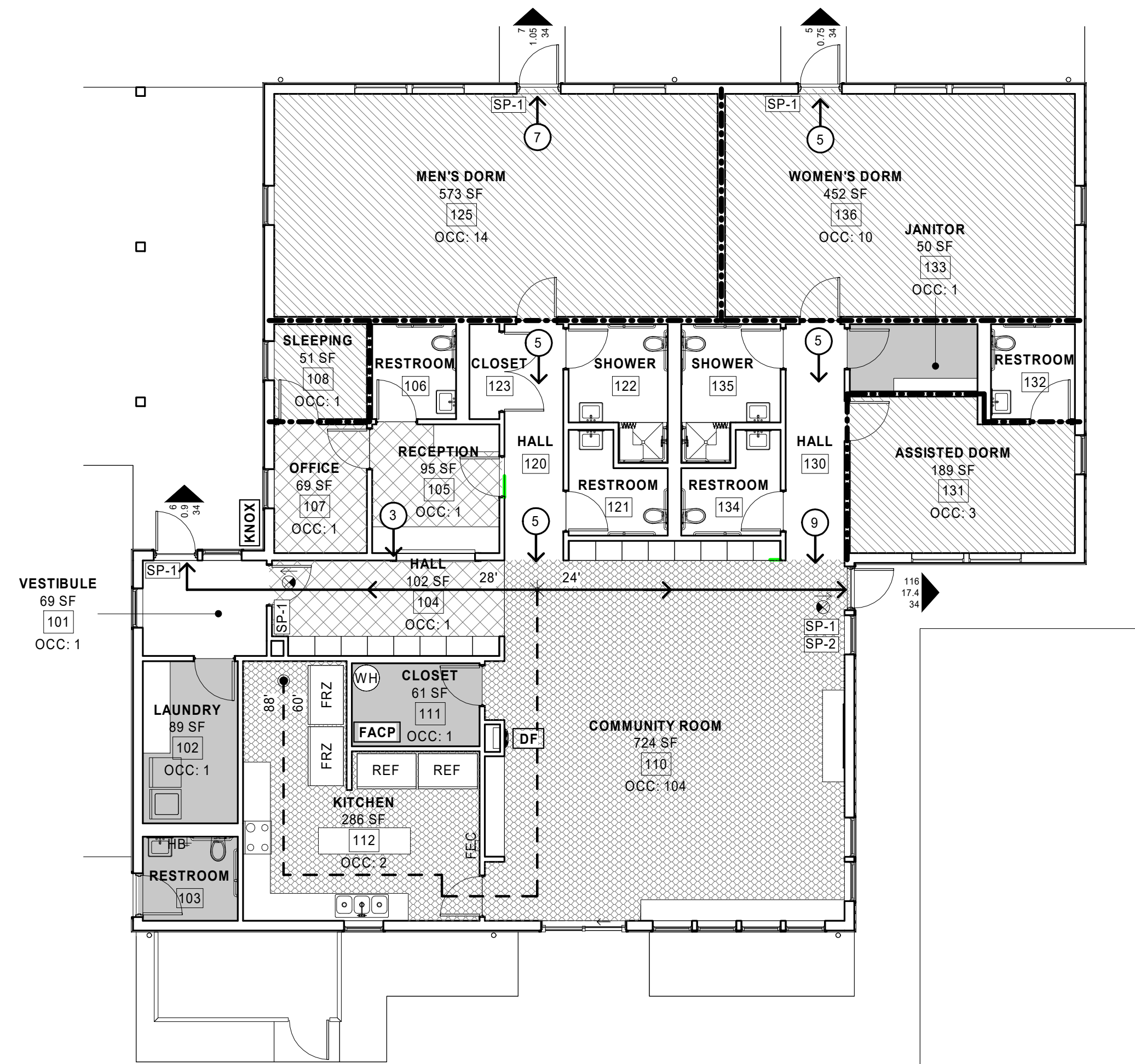
**BUILDING HEIGHT:**  
# STORIES: 1  
# FEET: 22 FEET

### GENERAL NOTES

- FINISH FLOOR ELEVATION IS FOR REFERENCE ONLY. REFER TO CIVIL DRAWINGS FOR THE CORRESPONDING TARGET ELEVATION ABOVE SEA LEVEL.
- DIMENSIONS: DIMENSIONS ARE TO FACE OF STUDS, ON MASONRY, CONCRETE, AND STUCCO WALL DIMENSIONS ARE TO FACE OF WALL.
- LOCATE ALL SINGLE INTERIOR DOORWAY OUTSIDE OF FRAME AT 4" FROM FACE OF WALL TO FINISH WALL, UNLESS NOTED OTHERWISE.
- LOCATE ALL SINGLE EXTERIOR DOORWAY OUTSIDE OF FRAME AT 6" FROM FACE OF WALL TO FINISH WALL, UNLESS NOTED OTHERWISE.
- BUILDING SHALL BE SPRINKLED THROUGHOUT, INCLUDING ENCLOSED SPACES, EXTERIOR CANOPY AND CONCEALED AREAS AS REQUIRED.
- "PROVIDE" MEANS "FURNISH AND INSTALL."
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIALS (UNLESS OTHERWISE NOTED), AND WORKMANSHIP IN ACCORDANCE WITH FEDERAL, STATE, CITY AND LOCAL BUILDING CODES AND THEIR REQUIREMENTS.
- ALL FREESTANDING FURNITURE TO BE PROVIDED AND INSTALLED BY OWNER.
- FIELD VERIFY ALL DIMENSIONS AND LAYOUT PRIOR TO PROCEEDING WITH WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES OR INCONSISTENCIES. FAILURE TO REPORT ANY DISCREPANCIES WITHIN THESE CONSTRUCTION DOCUMENTS TO THE ARCHITECT WILL NOT BE GROUNDS FOR ADDITIONAL COST OR CHANGE ORDERS.
- DO NOT SCALE THE DRAWINGS.



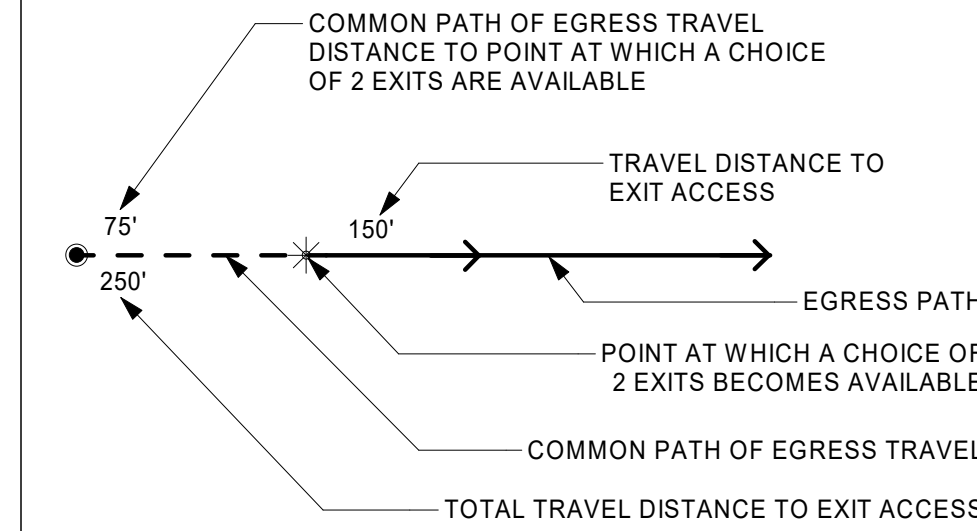
# CODE COMPLIANCE PLAN - LEVEL 1



## CODE PLAN LEGEND

- 1 HOUR FIRE PARTITION
- A-2 ASSEMBLY OCCUPANCY
- B BUSINESS OCCUPANCY
- R-1 RESIDENTIAL OCCUPANCY
- S-1 MODERATE HAZARD STORAGE OCCUPANCY
- EXIT LIGHT, DIRECTIONAL ARROWS AS INDICATED, SHADED AREAS DENOTE FACES
- F.E. TYPE 2A FIRE EXTINGUISHER IN SEMI-RECESSED CABINET
- ROOM NAME
- AREA
- ROOM #
- OCC: 1 NUMBER OF OCCUPANTS
- OCCUPANT LOAD EXITING SPACE
- BUILDING EXIT
- PROVIDED EGRESS WIDTH (INCHES)
- REQ'D EGRESS WIDTH IN INCHES, 36 MIN
- EXIT OCCUPANT LOAD
- DF DRINKING FOUNTAIN
- FACP FIRE ALARM CONTROL PANEL
- KNOX EMERGENCY KNOX BOX
- ADA HC AUTOMATIC DOOR OPERATION & ACTUATOR BUTTON

## EGRESS TRAVEL LEGEND



## MAX. FLOOR AREA PER OCCUPANT (OSSC TABLE 1004.5)

FUNCTION OF SPACE	OCCUPANT LOAD FACTOR	GROSS OR NET	Notes
ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT	300 SF	GROSS	
ASSEMBLY: WITHOUT FIXED SEATS: CONCENTRATED	7 SF	NET	
BUSINESS AREAS	150 SF	GROSS	
KITCHENS, COMMERCIAL	200 SF	GROSS	
RESIDENTIAL	200 SF	GROSS	DORM ROOM OCCUPANT LOAD INCREASED BASED ON NUMBER OF BEDS PROVIDED.

## SIGN SCHEDULE

TAG	TYPE	DESCRIPTION	NOTES
SP-1	EXIT SIGN	RRE-655	SN-1, SN-3
SP-2	OCCUPANT LOAD	NHEP-8249	SN-2, SN-3
SP-3	WOMEN'S RESTROOM	RRE-130	SN-2, SN-3
SP-4	WOMEN'S SHOWER	RRE-14824	SN-2, SN-3
SP-5	MEN'S RESTROOM	RRE-145	SN-2, SN-3
SP-6	MEN'S SHOWER	RRE-14822	SN-2, SN-3

SP = SIGN PANEL  
 GENERAL NOTES:  
 A. SIGNS TO PROVIDE 3/4" RAISED COPY ACCOMPANIED BY GRADE 2 BRaille PER ICC A117.2 SECTION 703.  
 B. ALL SIGN PANEL SYMBOLS BASED ON BEST SIGNS POPULAR CHOICE MODEL NUMBERS

- NOTES:  
 SN-1 INSTALL SIGNAGE ON WALL ADJACENT TO LATCH SIDE OF DOOR, 6" MIN. DISTANCE FROM DOOR FRAME  
 SN-2 INSTALL SIGNAGE ON WALL ADJACENT TO FRAMED OPENING, 6" MIN. DISTANCE FROM OPENING  
 SN-3 60" A.F.F. TO BASELINE OF TOP ROW OF TEXT

## 2019 OREGON STRUCTURAL SPECIALTY CODE (OSSC)

**CHAPTER 3 - OCCUPANCY**  
 SECTION 303.3 OCCUPANCY GROUP A-2 CAFETERIA OR DINING FACILITY, INCLUDES ASSOCIATED KITCHEN  
 SECTION 304 OCCUPANCY GROUP B OFFICES, SERVICE-TYPE TRANSACTIONS, INCLUDING STORAGE OF RECORDS AND ACCOUNTS.  
 SECTION 310 OCCUPANCY GROUP R-1 BOARDING HOUSE (TRANSIENT) CONTAINING SLEEPING UNITS WHERE THE OCCUPANTS ARE TRANSIENT IN NATURE  
 SECTION 311.2 OCCUPANCY GROUP S-1 MODERATE-HAZARD STORAGE USE

**CHAPTER 4 - SPECIAL REQUIREMENTS BASED ON USE & OCCUPANCY**  
 SECTION 420 SPECIAL REQUIREMENTS GROUP R-1  
 SECTION 420.2 SEPARATION WALLS WALLS SEPARATING DWELLING UNITS IN THE SAME BUILDING, WALLS SEPARATING SLEEPING UNITS IN THE SAME BUILDING AND WALLS SEPARATING DWELLING OR SLEEPING UNITS FROM OTHER OCCUPANCIES CONTIGUOUS TO THEM IN THE SAME BUILDING SHALL BE CONSTRUCTED AS FIRE PARTITIONS PER SECTION 708 FIRE PARTITIONS  
 SECTION 420.4 AUTOMATIC SPRINKLER SYSTEM GROUP R OCCUPANCIES SHALL BE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.2.8.  
 SECTION 420.5 FIRE ALARM & SMOKE ALARMS FIRE ALARM SYSTEMS AND SMOKE ALARM SYSTEMS SHALL BE PROVIDED IN GROUP R-1 OCCUPANCY PER SECTIONS 907.2.6, 907.2.8, AND 907.2.9

**CHAPTER 5 - GENERAL BUILDING HEIGHTS AND AREAS**  
 TABLES 504.3, 504.4, 506.2 ALLOWABLE HEIGHT AND BUILDING AREAS GROUP A-2, CONSTRUCTION TYPE VB, S1 SPRINKLERS ALLOWED:  
 2-STORIES  
 60 FOOT HEIGHT  
 24,000 SQ FT  
 NO AREA MODIFICATIONS UTILIZED  
 GROUP B, CONSTRUCTION TYPE VB, S1 SPRINKLERS ALLOWED:  
 2-STORIES  
 60 FOOT HEIGHT  
 36,000 SQ FT  
 NO AREA MODIFICATIONS UTILIZED  
 GROUP R-1, CONSTRUCTION TYPE VB, S13R SPRINKLERS ALLOWED:  
 2-STORIES  
 40 FOOT HEIGHT  
 7,000 SQ FT  
 NO AREA MODIFICATIONS UTILIZED  
 GROUP S, CONSTRUCTION TYPE VB, S1 SPRINKLERS ALLOWED:  
 2-STORIES  
 60 FOOT HEIGHT  
 36,000 SQ FT  
 NO AREA MODIFICATIONS UTILIZED

ACTUAL:  
 1-STORY  
 30 FOOT HEIGHT  
 GROUND FLOOR: 4,250 SQ FT

SECTION 508.3 NON SEPARATED OCCUPANCIES NONSEPARATED OCCUPANCY APPROACH USED - ALLOWABLE BUILDING AREA, HEIGHT, AND NUMBER OF STORIES BASED ON MOST RESTRICTIVE OCCUPANCY: R-1

**CHAPTER 6 - TYPES OF CONSTRUCTION**  
 CONSTRUCTION TYPE: TYPE VB  
 TABLE 601 FIRE-RESISTANCE RATING OF BUILDING ELEMENTS  
 STRUCTURAL FRAME: 0-HR  
 BEARING WALLS: 0-HR  
 NON-BEARING WALLS: 0-HR  
 FLOOR CONSTRUCTION: 0-HR  
 ROOF CONSTRUCTION: 0-HR  
 TABLE 602 EXTERIOR WALLS  
 FIRE SEPARATION DISTANCE 10 FOOT & GREATER: 0-HR

**CHAPTER 7 - FIRE & SMOKE PROTECTION FEATURES**  
 SECTION 705.8 ALLOWABLE AREA OF OPENINGS  
 TABLE 705.8  
 FIRE SEPARATION DISTANCE GREATER THAN 5 TO 10 FEET: UNPROTECTED, SPRINKLERED BUILDING = 25% OPENING AREA  
 SECTION 708.3 FIRE PARTITIONS SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 1-HOUR  
 1-HOUR PARTITIONS PROVIDED - COMPLIES  
 SECTION 708.4 FIRE PARTITIONS SHALL EXTEND FROM THE TOP OF THE FOUNDATION OR FLOOR/CEILING ASSEMBLY BELOW AND BE SECURELY ATTACHED TO THE UNDERSIDE OF THE FLOOR OR ROOF SHEATHING, DECK, OR SLAB ABOVE  
 COMPLIES - PARTITIONS EXTEND FROM SLAB TO UNDERSIDE OF ROOF DECK  
 TABLE 716.1(2) FIRE DOOR PROTECTION RATINGS  
 FIRE PARTITIONS:  
 OTHER PARTITIONS, 1-HOUR - DOOR MINIMUM 3/4 HOUR  
 COMPLIES - SEE DOOR SCHEDULE

**CHAPTER 8 - INTERIOR FINISHES**  
 TABLE 803.13 INTERIOR WALL AND CEILING FINISHES GROUP R-1 WITH NFPA 13R SPRINKLERS  
 EXIT PASSAGEWAYS: CLASS B  
 CORRIDORS: CLASS C  
 ROOMS AND ENCLOSED SPACES: CLASS C

**CHAPTER 9 - FIRE PROTECTION & LIFE SAFETY SYSTEMS**  
 SECTION 903.2.8 AUTOMATIC SPRINKLER SYSTEM GROUP R AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3 SHALL BE PROVIDED THROUGHOUT ALL BUILDINGS WITH A GROUP R FIRE AREA.  
 PROVIDED:  
 NFPA 13R (903.3.1.2 SYSTEM)  
 W/ QUICK RESPONSE -or- RESIDENTIAL HEADS (903.3.2)  
 SECTION 903.3.1.2.3 ATTICS  
 ATTIC PROTECTION SHALL BE PROVIDED AS FOLLOWS:  
 2. WHERE FUEL-FIRED EQUIPMENT IS INSTALLED IN AN UNSPRINKLERED ATTIC, NOT FEWER THAN ONE QUICK-RESPONSE INTERMEDIATE TEMPERATURE SPRINKLER SHALL BE INSTALLED ABOVE THE EQUIPMENT.

**CHAPTER 10 - MEANS OF EGRESS**  
 SECTION 1005.1 MEANS OF EGRESS SIZING BASED ON OCCUPANT LOAD  
 OTHER EGRESS COMPONENTS: 0.15-IN. PER OCCUPANT, SPRINKLERED  
 TABLE 1006.1 SPACES WITH ONE EXIT OR EXIT ACCESS DOORWAY OCCUPANCY GROUP A, SPRINKLERED:  
 MAX. OCCUPANT LOAD OF SPACE: 49 OCCUPANTS  
 MAX. COMMON PATH OF EGRESS TRAVEL: 75 FEET  
 OCCUPANCY GROUP B, SPRINKLERED:  
 MAX. OCCUPANT LOAD OF SPACE: 49 OCCUPANTS  
 MAX. COMMON PATH OF EGRESS TRAVEL: 100 FEET  
 OCCUPANCY GROUP R-1, SPRINKLERED:  
 MAX. OCCUPANT LOAD OF SPACE: 10 OCCUPANTS  
 MAX. COMMON PATH OF EGRESS TRAVEL: 75 FEET  
 OCCUPANCY GROUP S, SPRINKLERED:  
 MAX. OCCUPANT LOAD OF SPACE: 29 OCCUPANTS  
 MAX. COMMON PATH OF EGRESS TRAVEL: 100 FEET  
 TABLE 1017.2: EXIT ACCESS TRAVEL DISTANCE  
 OCCUPANCY GROUP R, SPRINKLERED: 250 FEET

**CHAPTER 29 - PLUMBING SYSTEMS**  
 TABLE 2902.1 MINIMUM PLUMBING FIXTURES  
 GROUP A  
 • OCCUPANTS ARE USING R-1 FACILITIES  
 • 1 DRINKING FOUNTAIN (1 PROVIDED)  
 GROUP B, S  
 • 1 WATER CLOSET & LAVATORY (1 UNISEX RESTROOM PROVIDED)  
 GROUP R BOARDING-HOUSE, TRANSIENT  
 • 1 WATER CLOSET PER SLEEPING UNIT (4 PROVIDED)  
 • 1 LAVATORY PER SLEEPING UNIT (4 PROVIDED)  
 • 1 SHOWER PER SLEEPING UNIT (2 PROVIDED)

## 2021 OREGON ENERGY EFFICIENCY SPECIALTY CODE (OEESC)

ENERGY CODE COMPLIANCE METHOD: 4.2.1.1 NEW BUILDING NEW BUILDING COMPLYING WITH PRESCRIPTIVE PROVISIONS OF:  
 A. SECTION 5, "BUILDING ENVELOPE"; SECTION 6, "HEATING, VENTILATING, AND AIR CONDITIONING"; SECTION 7, "SERVICE WATER HEATING"; SECTION 8, "POWER"; SECTION 9, "LIGHTING"; AND SECTION 10, "OTHER EQUIPMENT".  
 5.4.3.1.2 CONTINUOUS AIR BARRIER AND INSTALLATION CONTINUOUS AIR BARRIER DESIGNED AND IDENTIFIED ON CONSTRUCTION DOCUMENTS.  
 5.4.3.3 VESTIBULES VESTIBULE PROVIDED, SHALL NOT EXCEED 2% OF GROSS CONDITIONED FLOOR AREA - COMPLIES

## TABLE 5.5-6 BUILDING ENVELOPE REQUIREMENTS: NONRESIDENTIAL DESCHUTES COUNTY, OR - CLIMATE ZONE: 5B

OPAQUE ELEMENTS	REQUIRED U-VALUE (R)	PROVIDED U-VALUE (R)		
<b>ROOFS</b>				
INSULATION ABOVE ROOF DECK	0.032 (R-30 CI)	N/A		
ATTIC AND OTHER	0.021 (R-49)	0.021 (R-49)		
<b>WALLS</b>				
WOOD FRAMED	U-0.051 (R-13 + R-7.5 CI or R-19 + R-5 CI)	U-0.051 (R-19 + R-5 CI)		
MASS	0.090 (R-11.4 CI)	N/A		
BELOW-GRADE	C-0.119 (R-7.5 CI)	N/A		
<b>FLOORS</b>				
WOOD FRAMED	0.033 (R-30)	N/A		
<b>SLAB-ON-GRADE FLOORS</b>				
UNHEATED SLABS	F VALUE: 0.52 (R-15 FOR 24")	F VALUE: 0.52 (R-15 FOR 24")		
<b>OPAQUE DOORS</b>				
SWINGING	0.37 MIN	0.37		
NON-SWINGING	0.31 MIN	N/A		
<b>FENESTRATION</b>	<b>MAX. U-FACTOR</b>	<b>MAX. SHGC</b>		
	<b>REQUIRED</b>	<b>PROVIDED</b>		
FIXED	0.36	0.36	0.38	0.38
OPERABLE	0.45	0.35	0.33	0.33
ENTRANCE DOORS	0.63	0.63	0.33	0.33
SKYLIGHTS	0.50	0.50	0.40	0.40

MIN. SHGC = 1.10 FOR ALL TYPES

\*REFER TO SPECIFICATIONS FOR BASIS OF DESIGN DOORS, WINDOWS, AND SKYLIGHTS AS APPLICABLE.

## MADRAS DEVELOPMENT CODE (MDC)

DESIGNATION  
 ZONING DESIGNATION: CORRIDOR COMMERCIAL (C-1)  
 USE  
 RESIDENTIAL, CONDITIONAL USE  
 DEVELOPMENT STANDARDS (MDC 18.15.070)  
 LOT SIZE REQUIREMENTS:  
 NONE  
 MINIMUM SETBACK:  
 REQUIRED:  
 NONE, EXCEPT 10 FEET MIN. WHERE ADJACENT TO RESIDENTIALLY ZONED PARCEL  
 PROVIDED:  
 NORTH: SEE SITE PLAN  
 SOUTH: SEE SITE PLAN  
 EAST: SEE SITE PLAN  
 WEST: SEE SITE PLAN  
 MAXIMUM SETBACK:  
 REQUIRED: NONE  
 MAX. BUILDING HEIGHT:  
 ALLOWED: 45 FEET  
 ACTUAL: 24 FEET  
 OFF-STREET PARKING (MDC TABLE 18.25.050-1)  
 USE REQD  
 OFFICE 2.5 SPACES/1000SF (270SF) = 1 SPACE  
 TRANSIENT 0.6/BED (27 BEDS) = 14 SPACES  
 TOTAL = 15 SPACES  
 ACTUAL = 23 SPACES  
 BIKE PARKING (MDC 18.25.070)  
 REQUIRED: 1 SPACE / 10 VEHICLE SPACES = 3 BIKE SPACES  
 ACTUAL: 6 BIKE SPACES  
 VISION CLEARANCE (MDC 18.25.090)  
 REQUIRED:  
 15 FEET MIN. AT INTERSECTIONS OF COMMERCIAL ACCESS  
 PROVIDED  
 LANDSCAPING STANDARDS (MDC 18.25.170)  
 MINIMUM LANDSCAPE AREA:  
 REQUIRED: 15%  
 ACTUAL: SEE LANDSCAPE  
 LANDSCAPE LOCATION:  
 REQUIRED: 50% OF REQUIRED LANDSCAPING MUST BE LOCATED IN THE FRONT YARD SETBACK  
 PARKING LOT LANDSCAPING (MDC 18.25.170 (4)(d))  
 REQUIRED:  
 7% OF PARKING AREA MUST BE LANDSCAPED  
 1 TREE / 10 PARKING SPACES TO ACHIEVE CANOPY EFFECT OVER 50% OF THE LOT AREA  
 3 FT MIN. LANDSCAPE BUFFER BETWEEN PARKING & LOT LINE  
 5 FT MIN. LANDSCAPE BUFFER BETWEEN PARKING & RESIDENTIAL LOT

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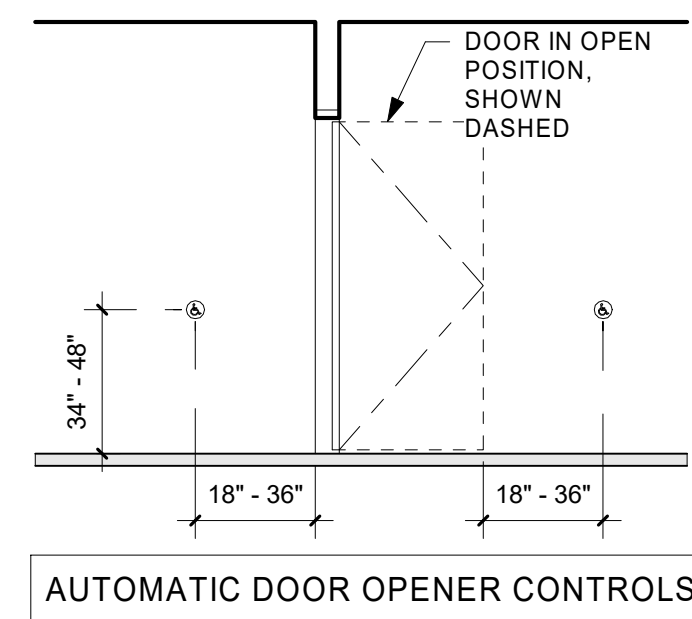
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#	Date

**MADRAS SHELTER**  
 CITY OF MADRAS  
 DD - PROGRESS

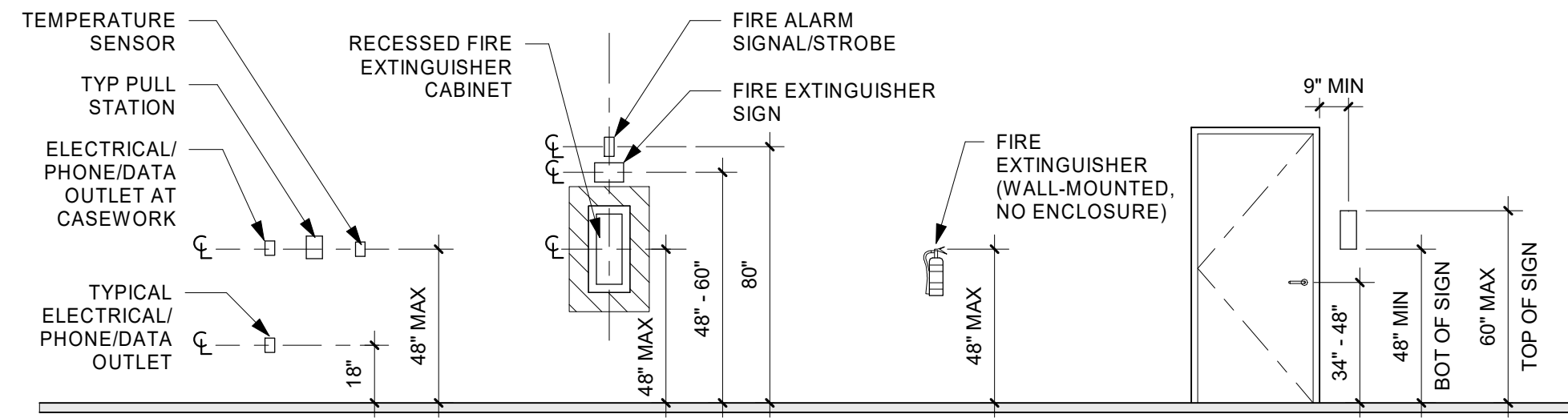
CODE INFORMATION, CODE PLAN	Author	Project No.
		022044.000
Date:	3/29/2022	
Revised:		

Sheet No. **A0.03**  
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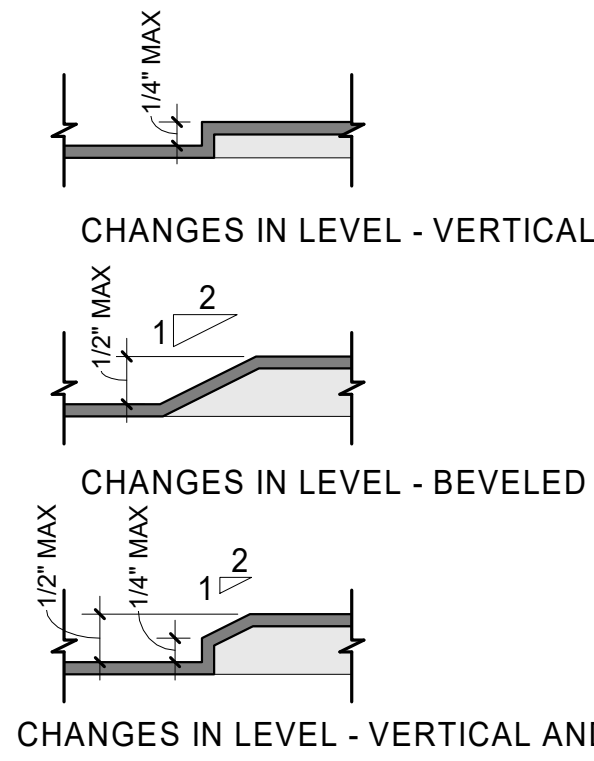




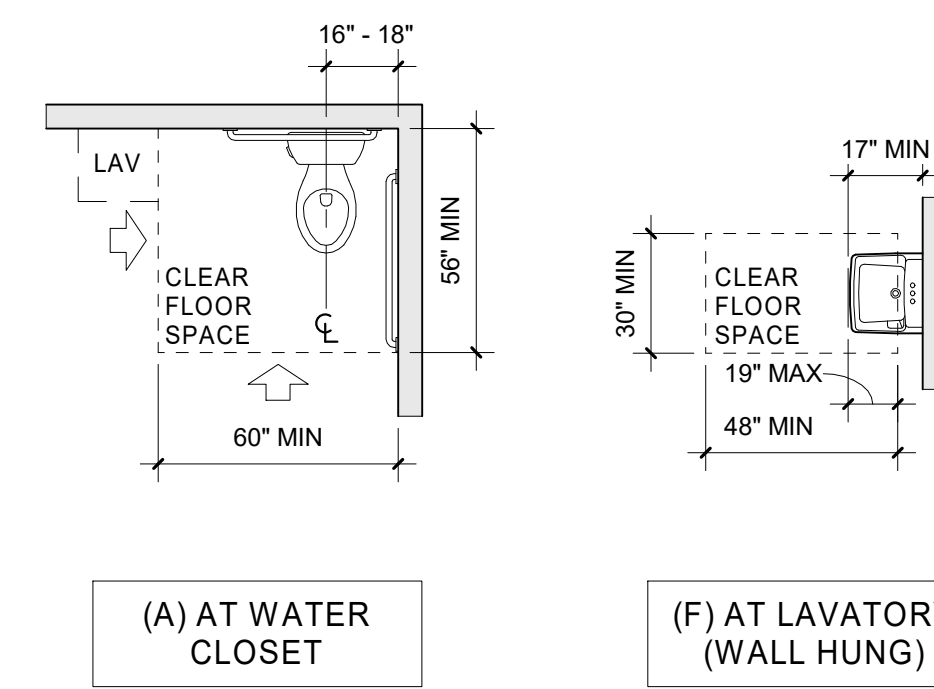
**AUTOMATIC DOOR OPENER CONTROLS**



**8 MISCELLANEOUS WALL MOUNTING HEIGHTS**  
1/4" = 1'-0"



**7 CODE - ACCESSIBLE ROUTE - CHANGE IN LEVEL**  
6" = 1'-0"



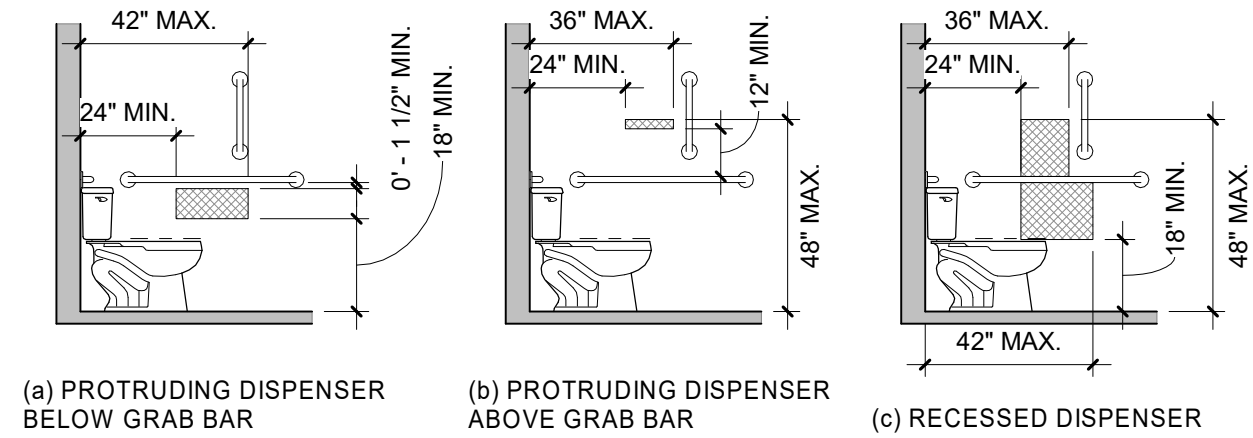
**6 CLEAR SPACE AT TOILET ROOMS AND COMPARTMENTS**  
1/4" = 1'-0"

**ACCESSIBILITY CODE LEGEND**

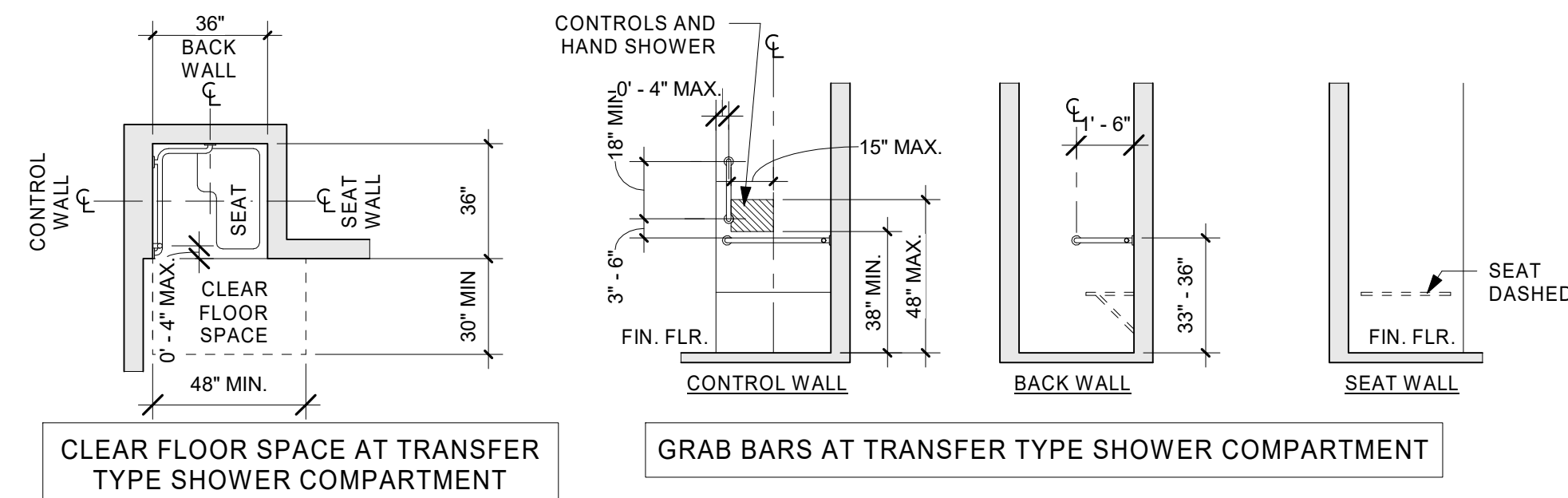
- PROVIDE BLOCKING IN FRAMED WALLS TO 6" MIN. BEYOND EDGES OF ITEM MOUNTED (TYP)
- DIRECTION OF TRAVEL OR APPROACH
- BOUNDARY OF CLEAR FLOOR SPACE OR MANEUVERING CLEARANCE
- WALL, FLOOR, CEILING, OR OTHER ELEMENT CUT IN SECTION OR PLAN
- CENTERLINE

**ACCESSIBILITY CODE NOTES**

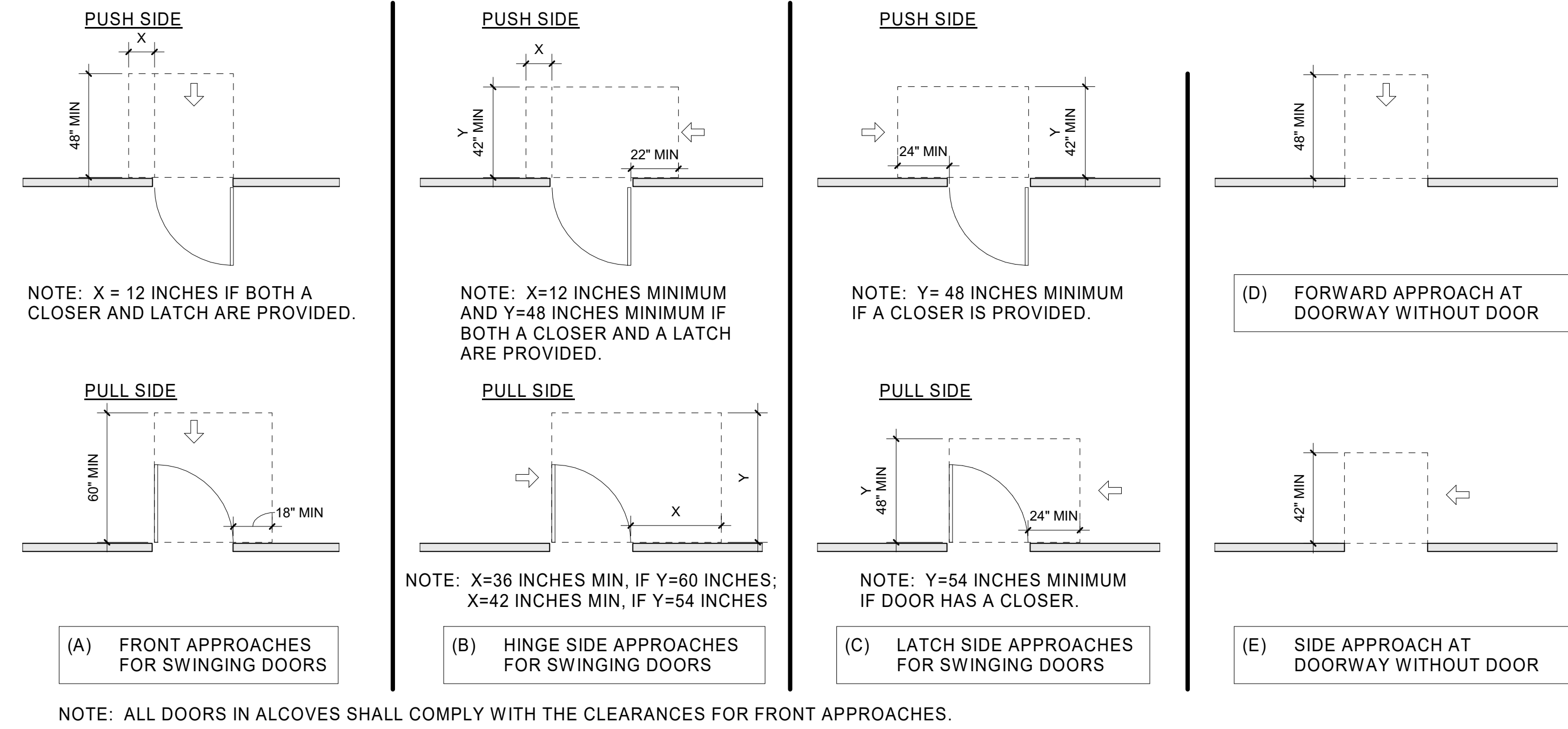
1. THE INFORMATION ON THIS SHEET IS PROVIDED AS A MEANS TO GRAPHICALLY IDENTIFY THE MOST COMMON DIMENSIONS, CLEARANCES, AND MOUNTING HEIGHTS REQUIRED. IT IS NOT FEASIBLE FOR ALL OF THE ADDITIONAL GRAPHIC AND NON-GRAPHIC INFORMATION INCLUDE IN ANSI ICC A117.1-2009: ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES, TO BE INCLUDED ON THIS SHEET. THEREFORE, THE CONTRACTOR SHALL REFER TO ANSI A117.1-2009 AND BE RESPONSIBLE FOR ALL REQUIRED INFORMATION INCLUDED THEREIN.
2. VERIFY ACCESSORY SIZE WITH MANUFACTURER TO ENSURE CONFORMANCE WITH ADA MOUNTING HEIGHTS. COORDINATE THE INSTALLATION OF ALL PLUMBING FIXTURES AND ACCESSORIES. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
3. DIMENSIONS TO TOILET ROOM ACCESSORIES ARE TO THE HIGHEST PORTION OF THE OPENING OR OPERATING DEVICE.
4. PLACE TELEPHONE DEVICES AT 44" ABOVE FINISH FLOOR.
5. PROVIDE BLOCKING WITHIN WALL AS REQUIRED FOR MOUNTING FIXTURES.
6. PROVIDE GYPSUM BOARD WRAP BEHIND FIXTURES AT WALLS DESIGNATED ON FLOOR PLANS AS FIRE-RATED. SEE WALL TYPES.
7. EDGE OF ACCESSIBLE SHOWER UNITS SHALL BE FLUSH WITH THE FINISHED SURFACE OF ADJACENT FLOORING.
8. THIS DRAWING ONLY SHOWS WALL-MOUNTED TOILET FIXTURES. SUBSTITUTE FLOOR-MOUNTED TOILET FIXTURES WHERE INDICATED IN BATHROOM ELEVATIONS.



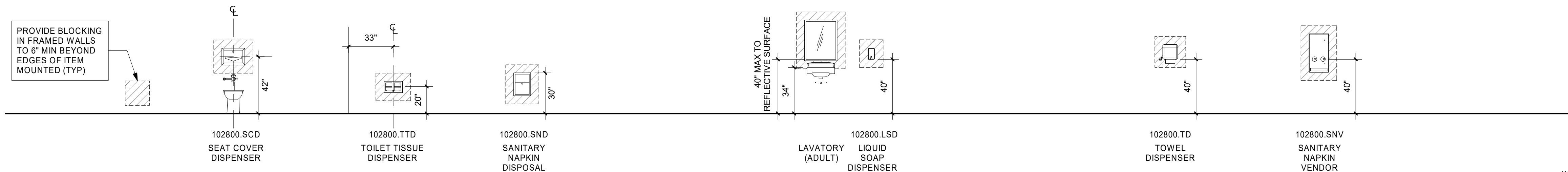
**5 CODE - ACCESSIBLE DISPENSER OUTLET LOCATIONS**  
1/4" = 1'-0"



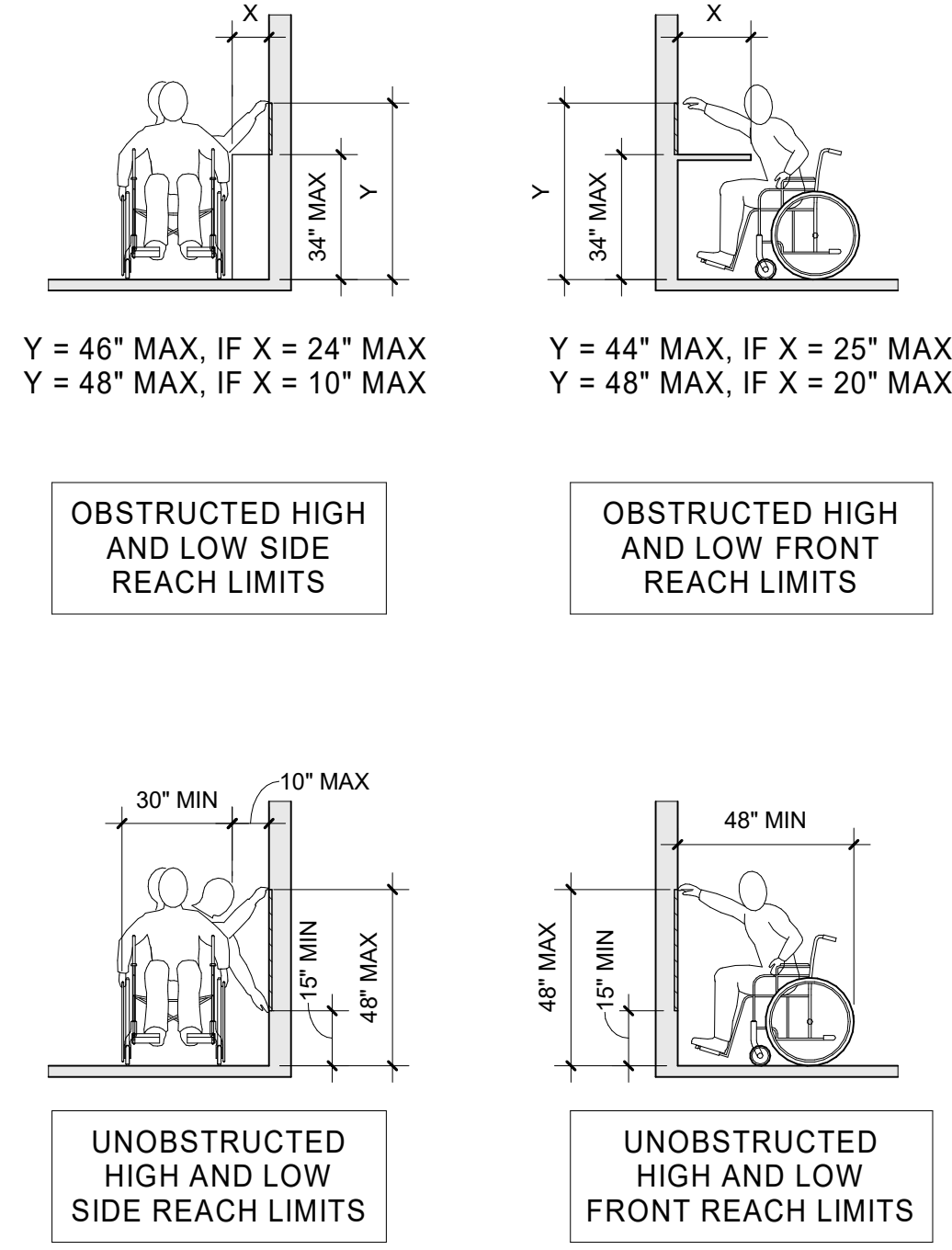
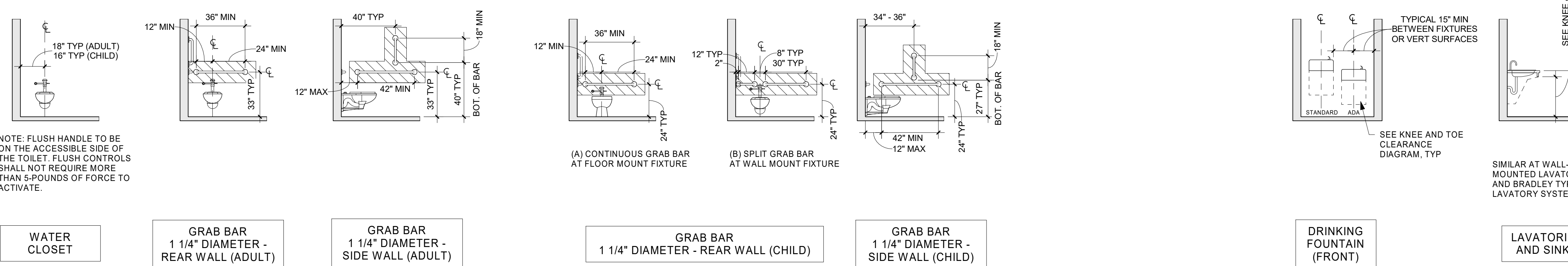
**4 CLEAR FLOOR SPACE AND GRAB BARS AT TRANSFER SHOWER**  
1/4" = 1'-0"



**3 MANEUVER CLEARANCES AT MANUAL SWING DOORS AND DOORWAYS WITHOUT DOORS**  
1/4" = 1'-0"



**2 RESTROOM TOILET MOUNTING HEIGHTS**  
1/4" = 1'-0"



**1 ACCESSIBLE REACH RANGES**  
1/4" = 1'-0"

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Date  
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MADRAS SHELTER  
CITY OF MADRAS  
DD - PROGRESS

ACCESSIBILITY DIAGRAMS  
Drawing Title:  
Date: 3/29/2022  
Author:  
Project No.: 022044.000  
Sheet No.:

A0.04  
BLRB ARCHITECTS, P.S.

### INTERIOR WALL ASSEMBLIES (PLAN VIEW)

WALL TYPE	ASSEMBLY	DESCRIPTION
<b>INTERIOR FURRING WALL</b>		
4W1 6W1		GYPSUM BOARD (5/8") 3" MINERAL OR GLASS FIBER INSULATION WOOD STUDS @ 16" O.C.
<b>NON-RATED INTERIOR WALL</b>		
4W2 6W2		GYPSUM BOARD (5/8") WOOD STUDS @ 16" O.C. 3" MINERAL OR GLASS FIBER INSULATION PLYWOOD SHEATHING PER STRUCTURAL GYPSUM BOARD (5/8")
<b>1-HOUR RATED INTERIOR WALL</b>		
FIRE-RATED ASSEMBLY	TEST SOURCE: UL DESIGN U-305 GA FILE NO. WP 3905	
4W3 6W3		TYPE 'X' GYPSUM BOARD (5/8") WOOD STUDS @ 16" O.C. 3" MINERAL OR GLASS FIBER INSULATION PLYWOOD SHEATHING PER STRUCTURAL TYPE 'X' GYPSUM BOARD (5/8")
<b>PLUMBING WALL</b>		
4WW1		GYPSUM BOARD (5/8") 3" MINERAL OR GLASS FIBER INSULATION GYPSUM BOARD (5/8") WOOD STUDS @ 16" O.C.
<b>1-HOUR RATED PLUMBING WALL</b>		
FIRE-RATED ASSEMBLY	TEST SOURCE: UL DESIGN U-305 GA FILE NO. WP 3905 (SM)	
4WW2		TYPE 'X' GYPSUM BOARD (5/8") 3" MINERAL OR GLASS FIBER INSULATION TYPE 'X' GYPSUM BOARD (5/8") WOOD STUDS @ 16" O.C.

### EXTERIOR WALL ASSEMBLIES (PLAN VIEW)

WALL TYPE	ASSEMBLY	DESCRIPTION
<b>EXTERIOR FIBER CEMENT SIDING</b>		
E6W1 T		CLADDING PER ELEVATIONS RIGID INSULATION (1") (R-5 CI MIN.) VAPOR-PERMEABLE AIR BARRIER MEMBRANE (WRB) PLYWOOD SHEATHING PER STRUCTURAL WOOD FRAMING PER STRUCTURAL R-21 MIN. THERMAL BATT INSULATION W/ FSK FACER GYPSUM BOARD (5/8")

### ROOF ASSEMBLIES (SECTION VIEW)

ROOF TYPE	ASSEMBLY	DESCRIPTION
<b>ASPHALT ROOF</b>		
R1		ASPHALT SHINGLES UNDERLAYMENT PLYWOOD SHEATHING - SEE STRUCTURAL VENTED CAVITY AT EACH JOIST BAY 1.5" WOOD PURLINS @ 24" O.C. ROOF JOIST - SEE STRUCTURAL R-49 MIN. BATT INSULATION CLASS II VAPOR RETARDER (AIR BARRIER)

### FLOOR ASSEMBLIES (SECTION VIEW)

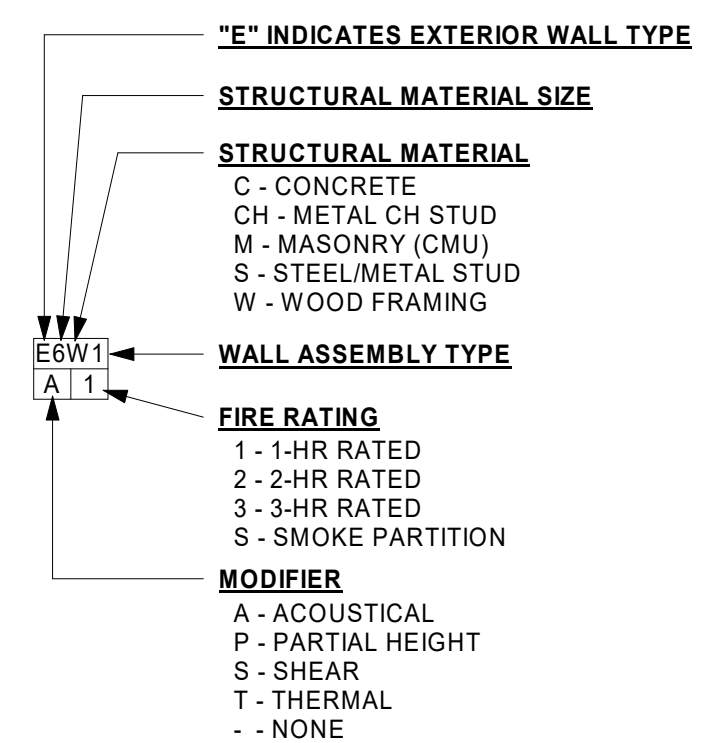
FLOOR TYPE	ASSEMBLY	DESCRIPTION
<b>SLAB ON GRADE</b>		
F1		SEE PLANS FOR FLOOR FINISH CONCRETE SLAB (SEE STRUCTURAL) UNDERSLAB VAPOR BARRIER GRANULAR FILL (SEE GEOTECH) GEOTEXTILE SEPARATION FABRIC (SEE GEOTECH) COMPACTED SOIL (SEE CIVIL)

**NOTE:** PROVIDE XPS RIGID INSULATION (R-15) FOR 24 IN. VERTICALLY AT FOUNDATION WALL. NOT SHOWN. SEE DETAILS.

### WALL TYPE GENERAL NOTES

- EXTERIOR FINISH MATERIALS PER ELEVATIONS.
- FLOOR TRACKS & SILL PLATES SHALL BE ANCHORED TO THE SLAB AT SPACING NO GREATER THAN 24" O.C.
- PENETRATIONS IN EXTERIOR WALLS SHALL BE SEALED AIR TIGHT WITH SPRAY FOAM, SEALANT, OR WRB FLASHING COMPONENT.
- TOILET ROOMS SHALL HAVE TILE BACKER BOARD BEHIND CERAMIC WALL TILE (WHERE OCCURS) & MOISTURE RESISTANT GWB AT ALL OTHER SURFACES.
- PROVIDE CEMENT BOARD BEHIND ALL CERAMIC WALL TILE LOCATIONS (WHERE OCCURS).
- PROVIDE TYPE 'X' MOISTURE RESISTANT GWB AT THE FOLLOWING LOCATIONS: BEHIND COOLER/FREEZERS, WALLS ADJACENT TO SINKS AND SINK CABINETS, WALLS ADJACENT TO FLOOR SINKS, WALLS ADJACENT TO DRINKING FOUNTAINS, ANY WET/EXTREME COLD AREAS.
- SEE FINISH SCHEDULE & INTERIOR ELEVATIONS (A5.00 SERIES) FOR FINISHES, SUBSTRATES AND ADDITIONAL NOTES ON SPECIFIC TYPES OF GWB.
- PROVIDE SOLID BLOCKING FOR ALL WALL-MOUNTED CABINETS, EQUIPMENT, WAINSCOTTING & ACCESSORIES.
- SEE CODE SHEETS (A0.0X SERIES) FOR BUILDING CODE ANALYSIS.
- STRUCTURAL DRAWINGS TAKE PRECEDENCE OVER FRAMING & PLYWOOD THICKNESS SHOWN ON ARCHITECTURAL WALL TYPES.
- REFER TO STRUCTURAL DRAWINGS FOR STUD SPACING, WALL BRACING, AND SHEAR PANEL LOCATIONS & REQUIREMENTS
- AT INTERIOR BEARING WALLS WITHOUT SOUND INSULATION: REFER TO STRUCTURAL DRAWINGS FOR REQUIREMENTS. CARRY GYP BOARD TO AT LEAST 6" ABOVE CEILING (UON), IF THERE IS NO CEILING, CARRY GYP BOARD UP TO STRUCTURAL DECK ABOVE.
- AT INTERIOR BEARING WALLS WITH SOUND INSULATION: REFER TO STRUCTURAL DRAWINGS FOR REQUIREMENTS. CARRY GYP BOARD TO AT LEAST 6" ABOVE CEILING (UON) AND SOUND INSULATION TO THE UNDERSIDE OF STRUCTURAL DECK ABOVE. IF THERE IS NO CEILING, CARRY GYP BOARD UP TO STRUCTURAL DECK ABOVE.
- AT FIRE RATED WALLS: CARRY ENTIRE ASSEMBLY UP TO STRUCTURAL DECK ABOVE OR BEYOND ROOF DECK PER DRAWINGS. PROVIDE FIRE-STOPPING AT PENETRATIONS & PERIMETER. SEE FIRESTOPPING SCHEDULE.
- AT EXTERIOR WALLS: CARRY GYP BOARD UP TO THE STRUCTURAL DECK ABOVE. TAPE WALL VAPOR RETARDERS TO ROOF VAPOR RETARDERS.
- PROVIDE ALL NECESSARY FRAMING TO EXTEND FINISHES TO DECK WHERE REQUIRED, INCLUDING AROUND INTERSECTING STRUCTURE.
- PROVIDE ACOUSTICAL CAULK AT ALL GWB-TO-FLOOR & GWB-TO-DECK INTERSECTIONS.
- SEAL ALL WALLS, ROOF & SLAB PENETRATIONS WITH SEALANT. TAPE ALL PENETRATIONS THROUGH VAPOR RETARDERS AND AIR BARRIERS W/ MANUFACTURER'S TAPE. TYPICAL AT WALLS, ROOFS & SLABS.

### ASSEMBLY TAG LEGEND



### FIRE STOPPING SCHEDULE

1-HR FIRE RATED WALL	BUILDING ELEMENT	UL #
1-HR FIRE RATED WALL	METAL PIPE: MAX 12" STEEL; CAST IRON; MAX 4" COPPER; STEEL CONDUIT 6" OR MAX 4" EMT (SLEEVED)	W-L-1524
	PLASTIC PIPE: 2" MAX	W-L-2543
	CABLE BUNDLE: 4" DIA. MAX	W-L-3195
	METAL PIPE W/ GLASS-FIBER INSULATION: MAX 8" STEEL; MAX 4" COPPER	W-L-5039
	SHEET METAL DUCT: RECTANGULAR MAX 30"x18"	W-L-7091
	SHEET METAL DUCT: ROUND; 6" MAX SPIRAL	W-L-7032
	SHEET METAL DUCT: RECTANGULAR; MAX 12"x12"	W-L-7052
	SHEET METAL DUCT INSULATED: ROUND; MAX 12" STEEL; MAX 6" COPPER PIPE AND TUBE	W-L-5011
	ELECTRICAL BOXES	FIRESTOP PUTTY PAD UL-CLIV
	ELECTRICAL WIRES	W-L-3015
	PLASTIC PIPE: 3" MAX	W-L-2284
	METAL DUCT: 4" MAX	F-C-7017
1-HR FIRE RATED FLOOR-CEILING ASSEMBLY	PLASTIC PIPE: 3" MAX	F-C-2027
	PLASTIC PIPE: 4" MAX	F-C-2035
	ELECTRICAL WIRES	F-C-3017
	TOILET FLANGE	F-C-1162

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**MADRAS SHELTER**  
CITY OF MADRAS  
DD - PROGRESS

**ASSEMBLY TYPES**

Drawn By: Author  
Date: 3/29/2022  
Project No: 022044.000  
Sheet No: A0.05



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**SITE PLAN LEGEND**

	PROPERTY LINE		HMAC PAVEMENT - SEE CIVIL		POLE-MOUNTED LIGHTING ON RAISED CONCRETE POLE BASE
	PROJECT BOUNDARY		CONCRETE PAVEMENT - SEE CIVIL & LANDSCAPE		PARKING SIGNAGE
	BUILDING SETBACK		AGGREGATE ROCK SURFACING - SEE CIVIL & LANDSCAPE		GREASE INTERCEPTOR - SEE PLUMBING
	UTILITY EASEMENT		LANDSCAPE AREA - SEE LANDSCAPE		PAD MOUNTED TRANSFORMER - SEE ELECTRICAL
	ACCESSIBLE PATH OF TRAVEL		CLEAR VISION AREA - NO OBSTRUCTION ABOVE 3.5' HEIGHT		HEAT PUMP - SEE MECHANICAL
	FENCE: +/-6' HEIGHT, DECORATIVE METAL				ELECTRICAL METER

**SITE PLAN GENERAL NOTES**

- REFER TO CIVIL DRAWINGS FOR HORIZONTAL CONTROL INFORMATION, DRAINAGE, SLAB AND PAVING ELEVATIONS, PUBLIC WORK IMPROVEMENTS, AND SITE UTILITIES. REFER TO LANDSCAPE DRAWINGS FOR PLANTING AND IRRIGATION DESIGN. REFER TO STRUCTURAL DRAWINGS FOR FOUNDATION AND SLAB DESIGN.
- FOLLOW ALL RECOMMENDATIONS AND REQUIREMENTS OF THE GEOTECHNICAL INVESTIGATION REPORT.
- SIDEWALKS AND RAMPS SHALL BE CONSTRUCTED TO THE FOLLOWING REQUIREMENTS:
  - MAXIMUM CROSS SLOPE OF SIDEWALKS & LANDINGS: 1:50
  - MAXIMUM SLOPE OF SIDEWALKS: 1:20
  - MAXIMUM SLOPE OF RAMPS: 1:12
  - MAXIMUM SLOPE OF DISABLED PARKING STALLS: 2% IN ANY DIRECTION
  - 2% MAXIMUM SLOPE FOR 5'-0" IN DIRECTION OF TRAVEL AT ALL BUILDING ENTRANCES.
- LIMITS OF WORK: THE CONTRACTOR SHALL CONFINE OPERATIONS AT THE SITE TO AREAS PERMITTED BY LAW, ORDINANCES, PERMITS AND THE CONTRACT DOCUMENTS.
- STAGING AREA: THE CONTRACTOR AND SUBCONTRACTORS SHALL LIMIT STORAGE OF MATERIALS AND PORTABLE FIELD OFFICES WITHIN THE AREAS APPROVED BY THE AUTHORITY HAVING JURISDICTION.
- GENERAL CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE OR DISRUPT EXISTING UTILITIES, INCLUDING DRAINS, WHILE EXCAVATING OR GRADING DURING CONSTRUCTION. CONFIRM LOCATION OF EXISTING UTILITIES ON ADJACENT PROPERTIES.
- PRIOR TO START OF WORK THE CONTRACTOR SHALL COORDINATE WITH EACH RESPECTIVE GOVERNING AUTHORITY IN VERIFYING THE LOCATION (INVERT ELEVATIONS, HORIZONTAL CONTROLS, EASEMENTS) OF EXISTING SANITARY AND STORM SEWER, WATER, NATURAL GAS, ELECTRICAL, FIBER OPTIC, TELEPHONE, OVERHEAD POWER LINES AND OTHER UTILITY SYSTEMS, BOTH ONSITE AND OFFSITE. THE CONTRACTOR SHALL COMPARE UTILITY INFORMATION WITH THE CONTRACT DOCUMENTS. IF A CONSTRUCTION CONFLICT IS DISCOVERED BETWEEN THE UTILITY INFORMATION OBTAINED AND THE CONTRACT DOCUMENTS NOTIFY THE ARCHITECT IMMEDIATELY.
- EMERGENCY VEHICLE ACCESS: THE CONTRACTOR SHALL MAINTAIN FIRE TRUCK ACCESS TO THE SITE THROUGHOUT THE CONSTRUCTION PROCESS UNLESS AN ALTERNATE PLAN IS APPROVED BY THE FIRE DEPARTMENT.

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541.330.6506

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**PARKING PROVIDED**

VEHICLE PARKING SPACE	COUNT
ADA	1
STANDARD	22
VEHICLE SPACES PROVIDED: 23	

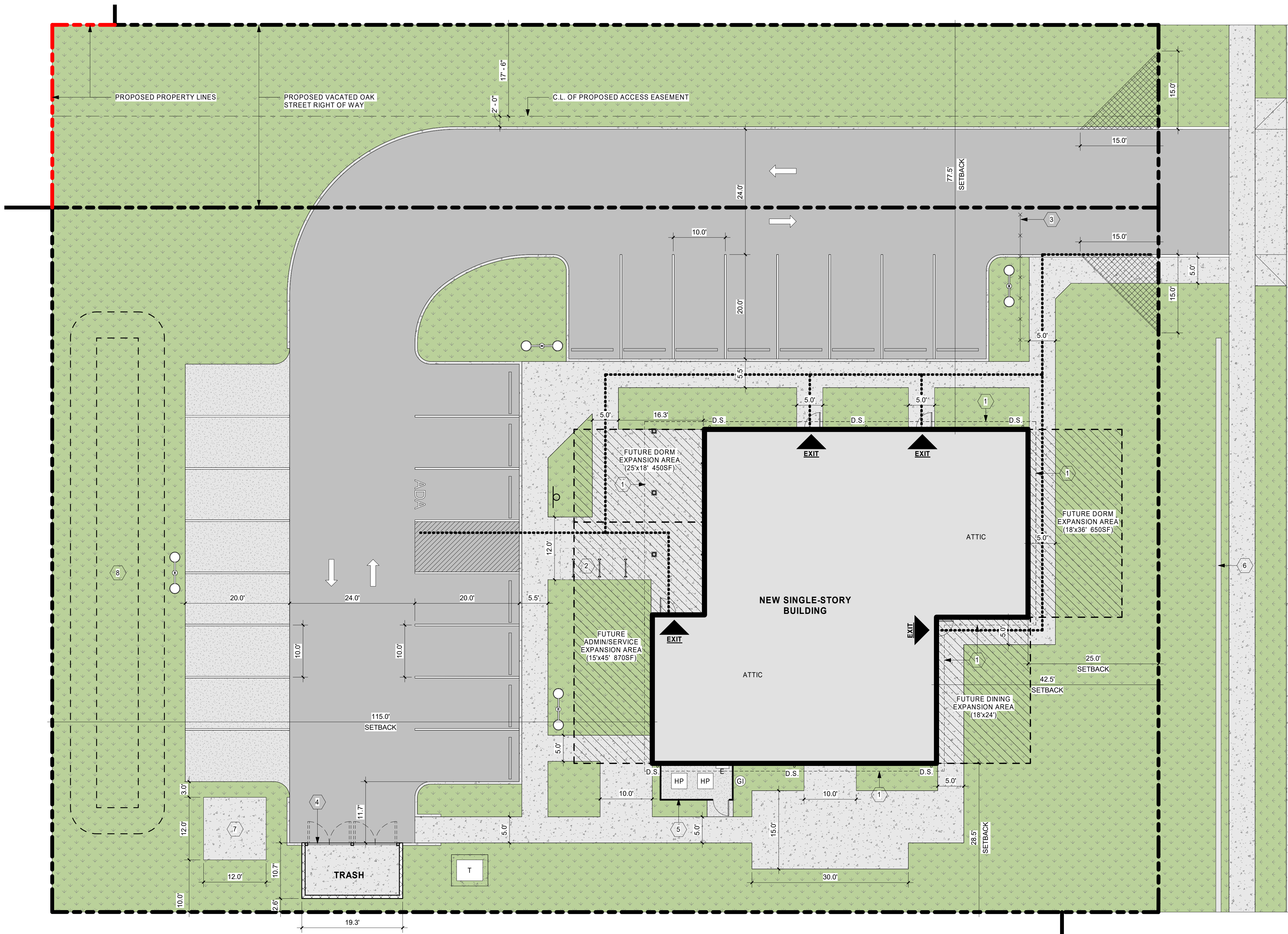
**BICYCLE PARKING PROVIDED:**  
3 RACKS = 6 SPACES TOTAL

#	Date	Description

**SITE PLAN KEYNOTES**

- LINE OF ROOF ABOVE
- BICYCLE PARKING
- CANTILEVER GATE
- TRASH ENCLOSURE
- MECHANICAL ENCLOSURE
- SITE WALL - ASSUMING PRECAST LANDSCAPE BLOCKS UP TO 3'-0" HEIGHT, +/-110' LENGTH
- CONCRETE SLAB ON GRADE FOR FUTURE SHED STRUCTURE
- DRAINAGE SWALE - SEE CIVIL

NW 4TH STREET



**1 SITE PLAN**  
1" = 10'-0" @ FULL SIZE

**MADRAS SHELTER**  
CITY OF MADRAS

**DD - PROGRESS**

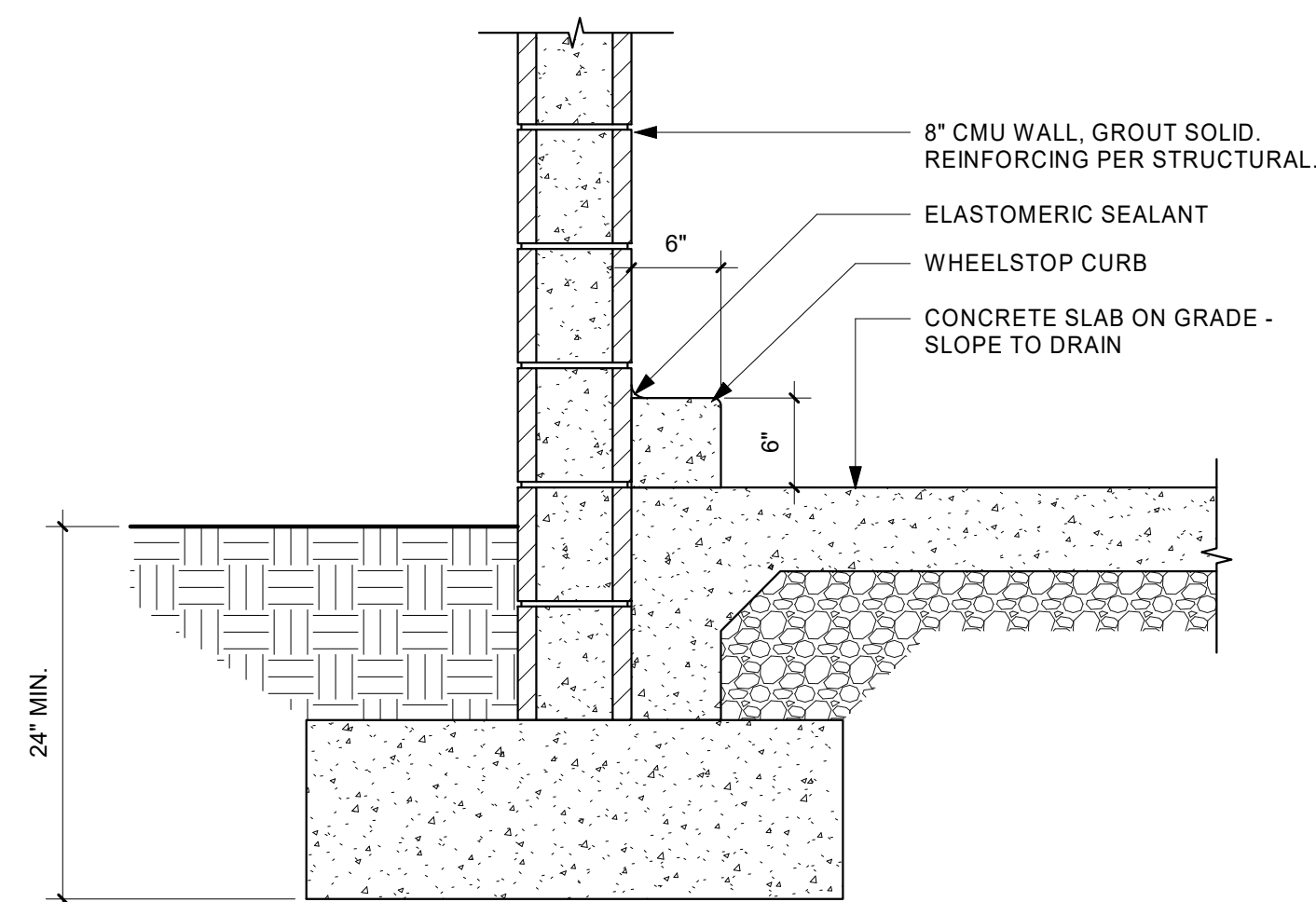
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Drawn By:	EN	
Revised:		

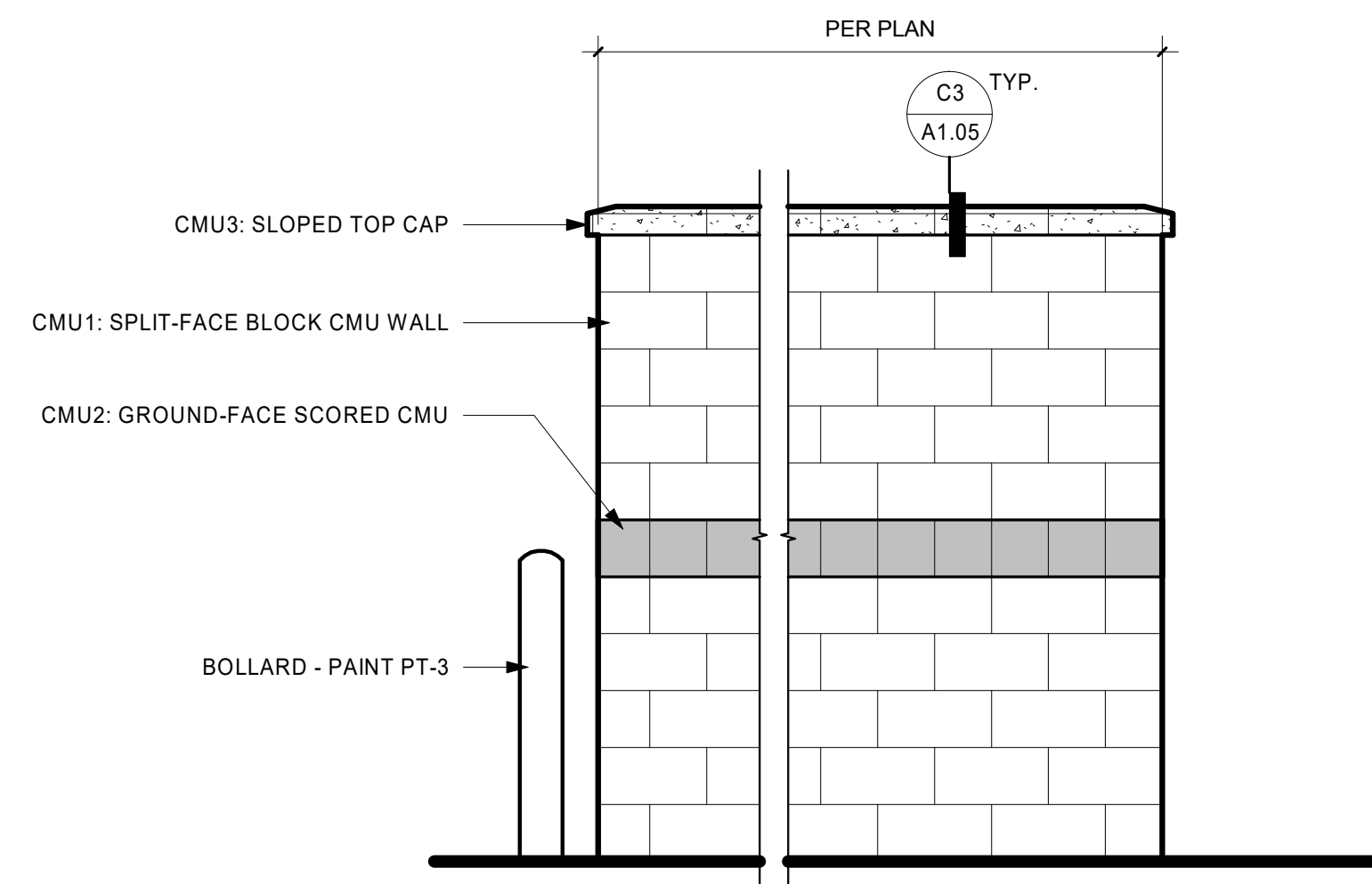
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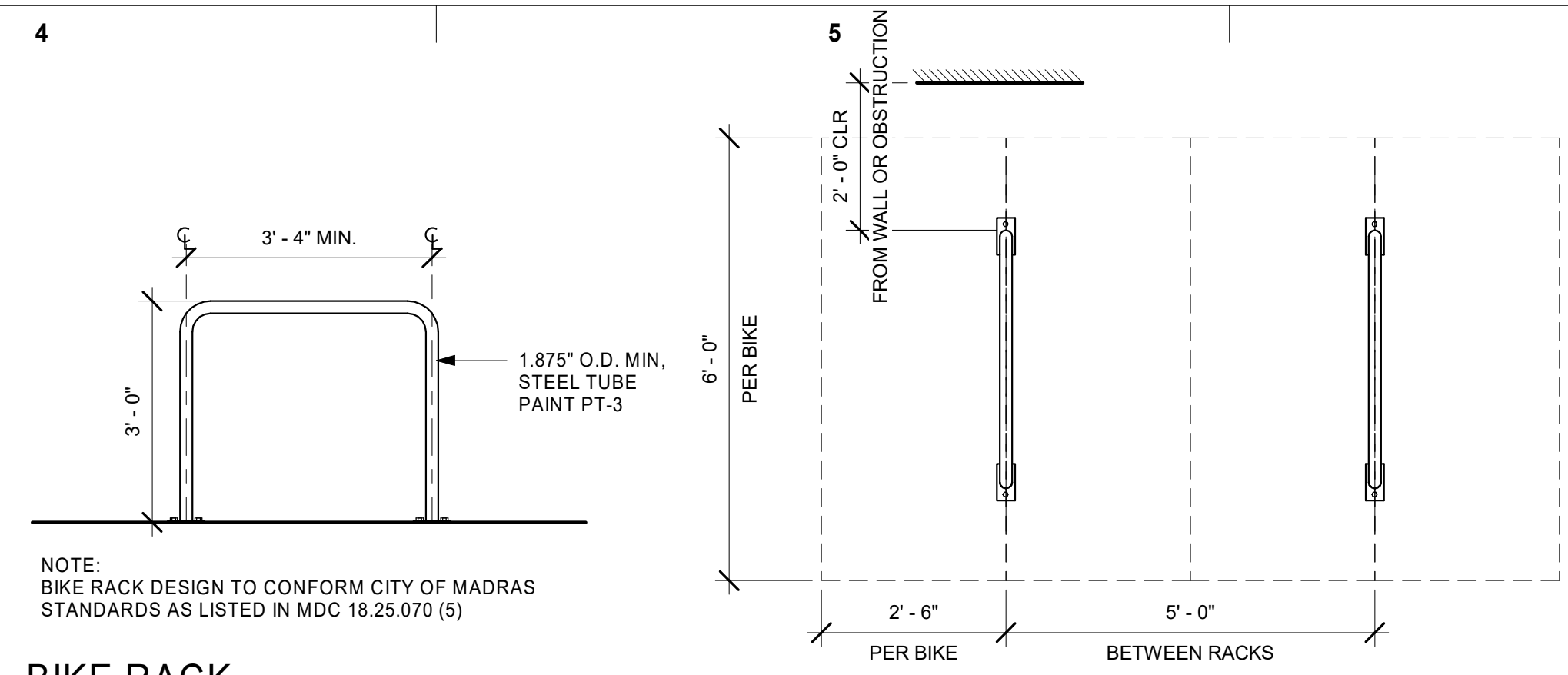




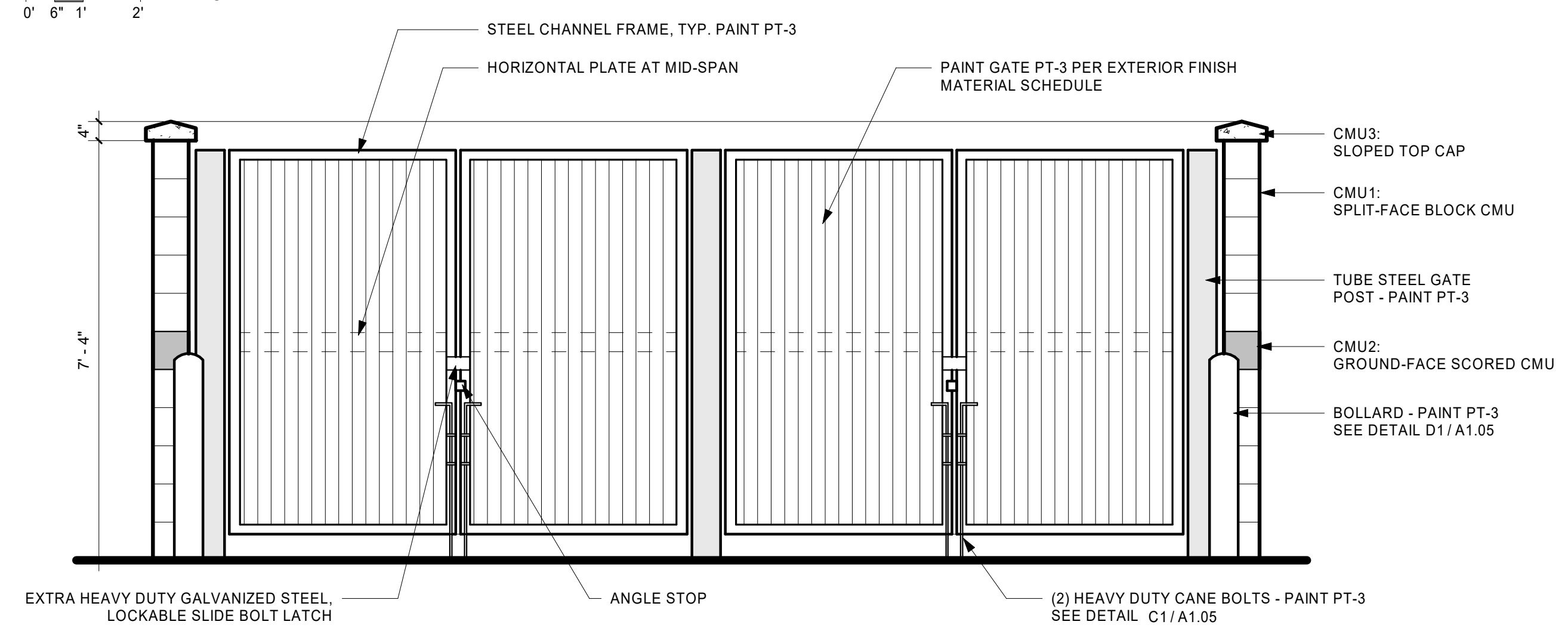
**A1** ENCLOSURE CMU WALL FOOTING  
 1" = 1'-0" @ FULL SIZE



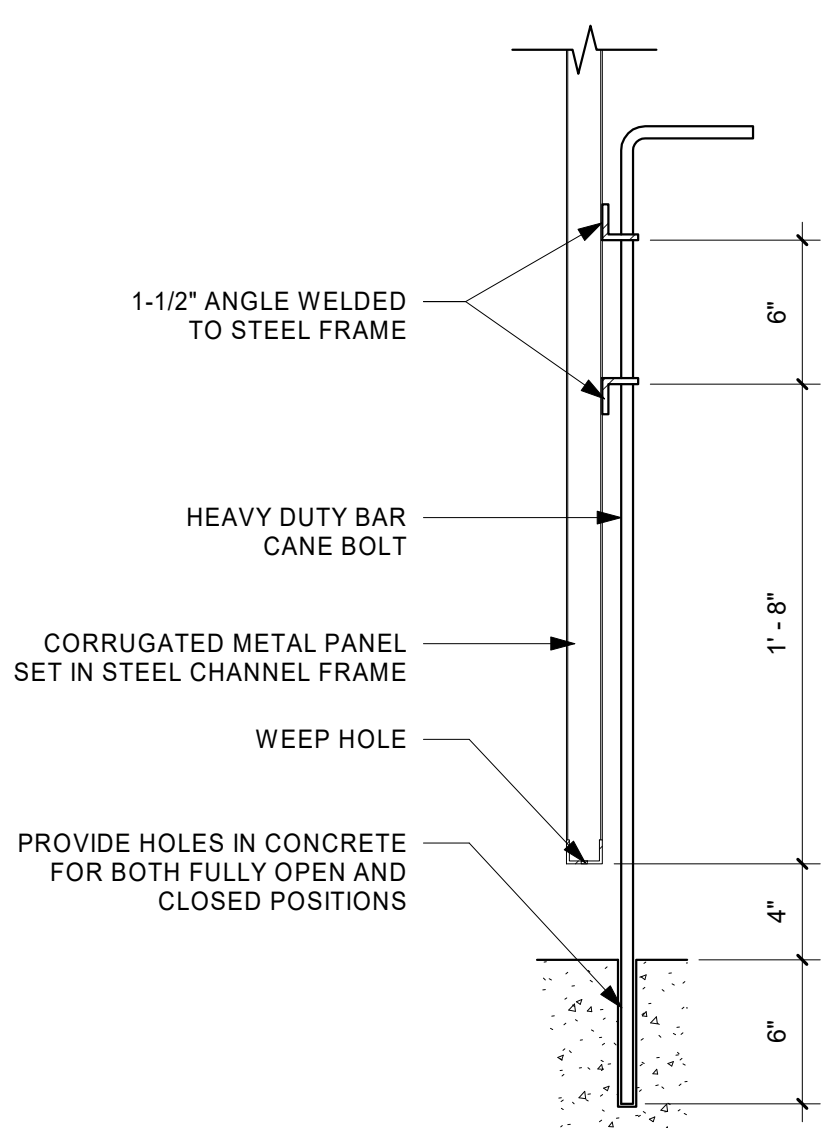
**A3** ENCLOSURE SIDE ELEVATION - REAR SIM.  
 1/2" = 1'-0" @ FULL SIZE



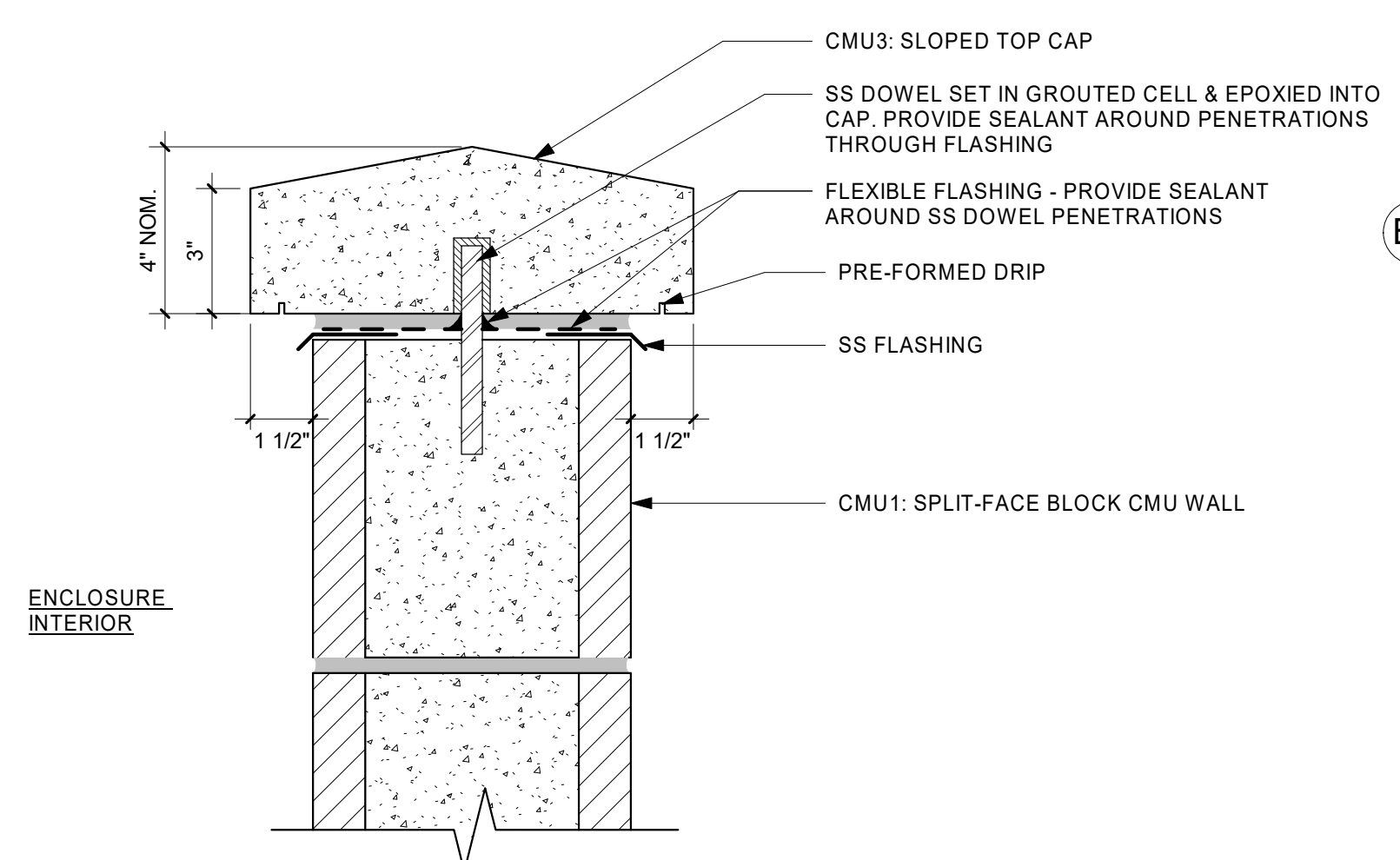
**A4** BIKE RACK  
 1/2" = 1'-0" @ FULL SIZE



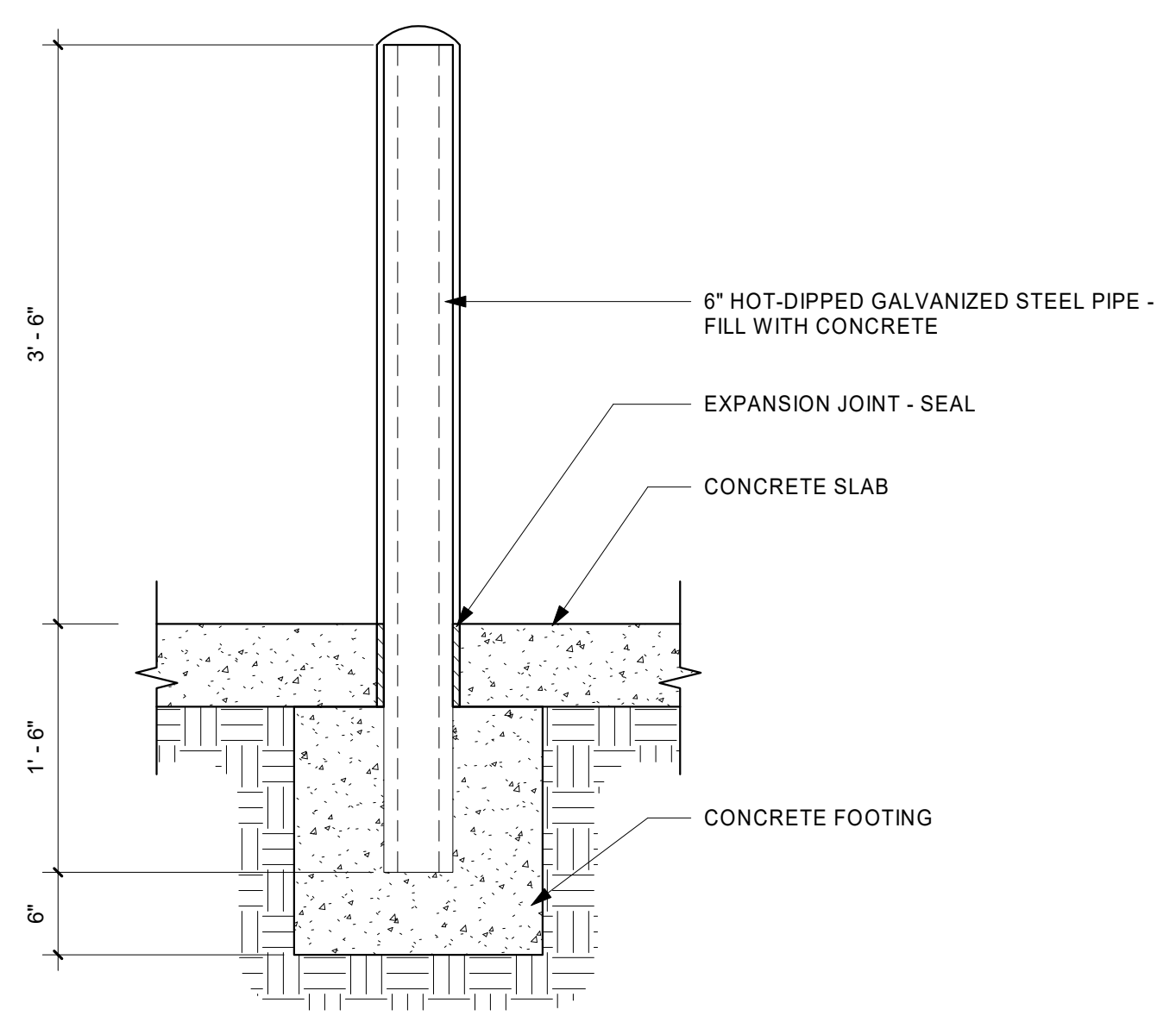
**B4** ENCLOSURE FRONT ELEVATION  
 1/2" = 1'-0" @ FULL SIZE



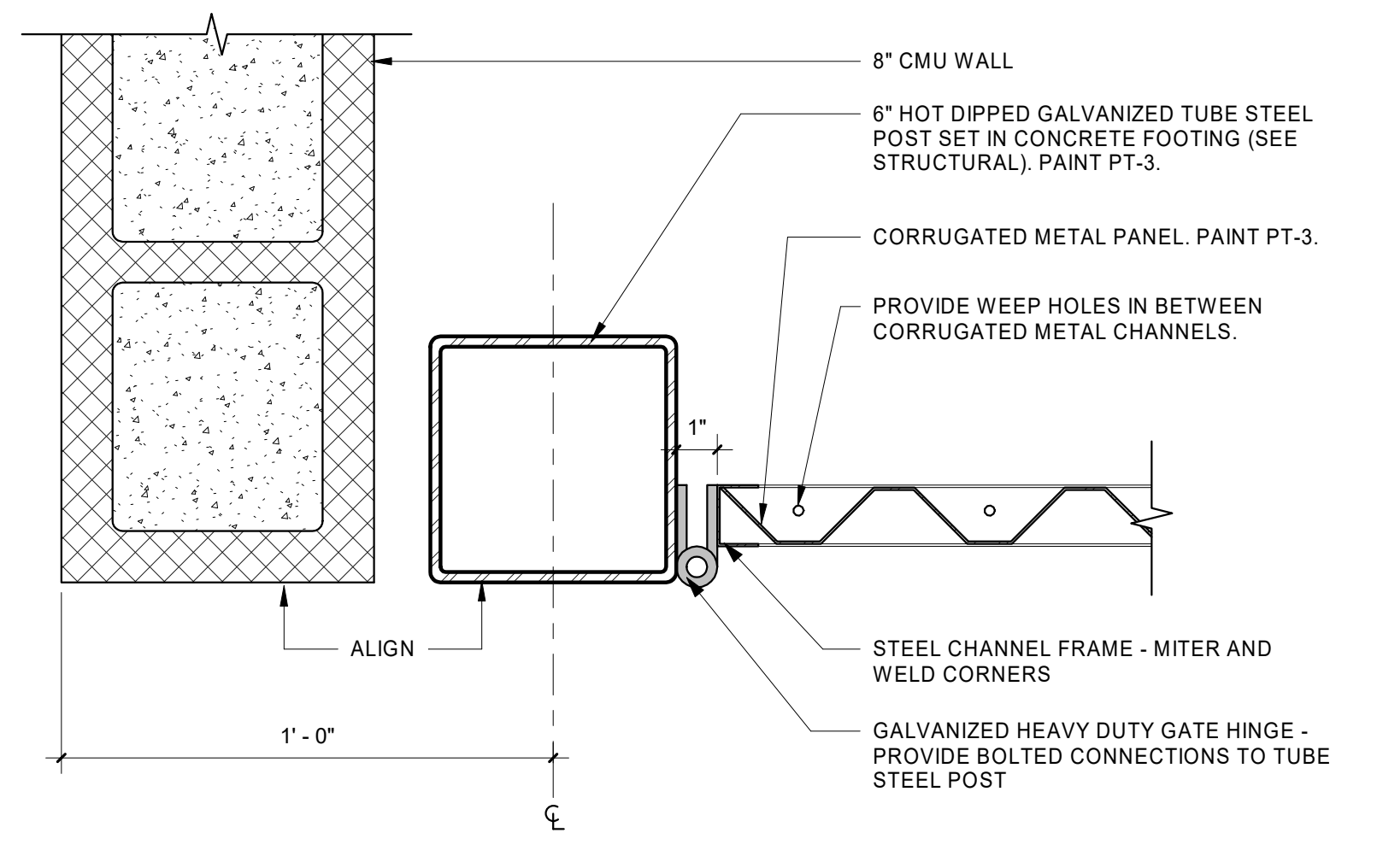
**C1** ENCLOSURE - SECTION AT CANE BOLT  
 1 1/2" = 1'-0" @ FULL SIZE



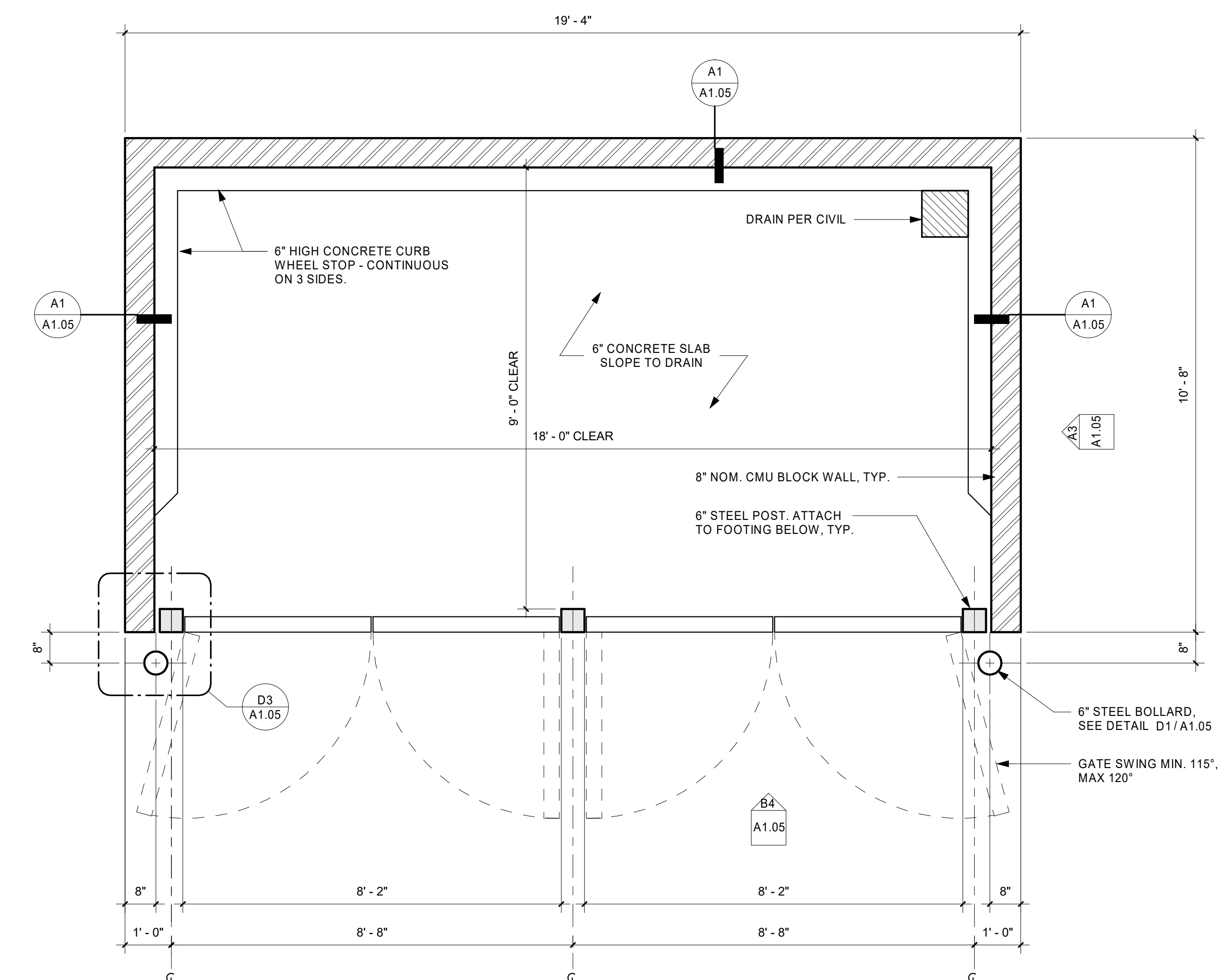
**C3** ENCLOSURE CAP  
 3" = 1'-0" @ FULL SIZE



**D1** ENCLOSURE BOLLARD  
 1" = 1'-0" @ FULL SIZE



**D3** ENCLOSURE GATE HINGE  
 3" = 1'-0" @ FULL SIZE



**D4** ENCLOSURE FLOOR PLAN  
 1/2" = 1'-0" @ FULL SIZE

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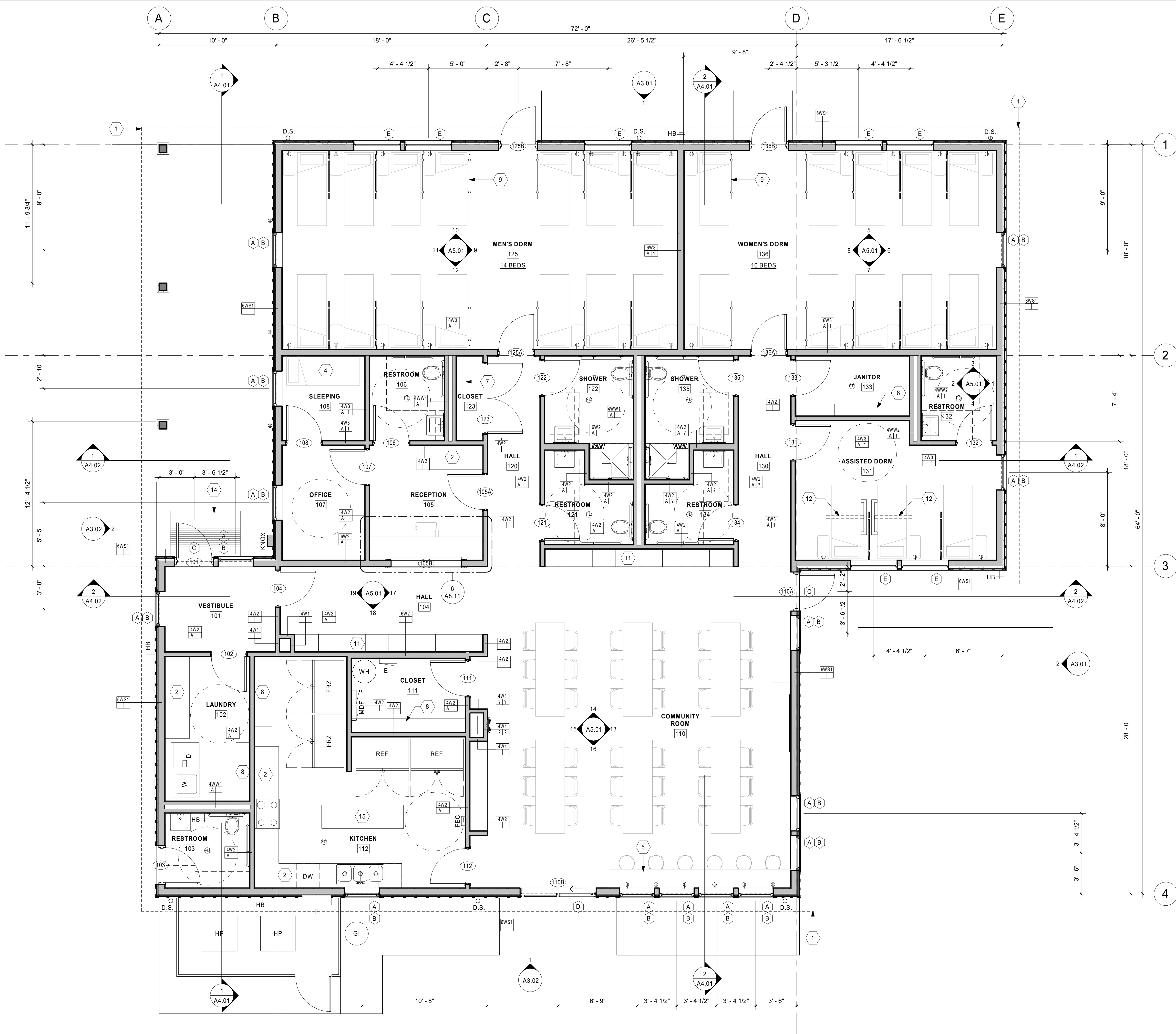
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**MADRAS SHELTER**  
 CITY OF MADRAS  
 DD - PROGRESS

Drawing Title:	SITE DETAILS
Date:	3/29/2022
Drawn By:	Author
Project No.:	022044.000
Revised:	

Sheet No. **A1.05**  
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**1 FLOOR PLAN**  
 1/4" = 1'-0" @ FULL SIZE

**FLOOR PLAN GENERAL NOTES**

- A. DRAWINGS ARE SHOWN TO SCALE AS NOTED AS AIDS IN DETERMINING SIZE AND PROPORTION. ONLY WRITTEN DESCRIPTIONS AND SIZES SHALL BE UTILIZED FOR CONSTRUCTION. DRAWINGS SHALL NOT BE SCALED.
- UNLESS NOTED OTHERWISE, DIMENSIONS ON PLANS ARE:
  - FACE OF STUD (F.O.S.)
  - FACE OF CONCRETE (F.O.C.)
  - CENTERLINE OF DOOR AND WINDOW OPENINGS.
- B. FIXTURES AND EQUIPMENT SHOWN ARE FOR COORDINATION PURPOSES ONLY. REFER TO THE MANUFACTURER'S PRODUCT DATA, ENGINEERING DRAWINGS, AND SPECIFICATIONS FOR FIXTURE AND EQUIPMENT DESCRIPTIONS AND LOCATIONS.
- C. PRESERVATION OF ADJACENT OR EXISTING CONSTRUCTION:
  - AVOID DAMAGE TO EXISTING STRUCTURES, SIDEWALKS, CURBS, PAVING AND LANDSCAPING.
  - PATCH, REPAIR, OR REPLACE ANY ITEMS DAMAGED, OR AS DIRECTED BY THE PROPERTY OWNER.
- D. AVOID UNNECESSARY DISRUPTIONS TO THE FUNCTIONS AND ACTIVITIES OF ADJACENT BUILDINGS.
- E. CAREFULLY REVIEW ALL CONTRACT DOCUMENTS PRIOR TO CONSTRUCTION. BRING DISCREPANCIES OR CONFLICTING DATA TO THE ATTENTION OF THE ARCHITECT PRIOR TO COMMENCING WORK.
- F. UNLESS NOTED OTHERWISE, INSTALL DOORS WITH 4" FROM HINGE SIDE OF DOOR TO ADJACENT WALL FRAMING.
- G. CONTRACTOR TO VERIFY SIZES OF ROUGH DOOR AND WINDOW OPENINGS PRIOR TO ORDERING DOORS AND WINDOWS.

**FLOOR PLAN LEGEND**

	ELECTRICAL PANEL		ELECTRICAL METER
	FIRE ALARM PANEL		MDF CABINET
	DUPLEX RECEPTACLE		QUADPLEX RECEPTACLE
	ELECTRIC RANGE OVEN		WATER HEATER
	WASHER - BASIS OF DESIGN: WHIRLPOOL CHW9160GW		DRYER - BASIS OF DESIGN: WHIRLPOOL CSP2971HQ STACK DRYER
	REFRIGERATOR - BASIS OF DESIGN: ARCTIC AIR AR 49 54"		REFRIGERATOR - BASIS OF DESIGN: ARCTIC AIR AF 49 54"
	HOSE BIB		MOP SINK
	BOTTLE-FILL FOUNTAIN ELKAY EZH20-S		TRANSFER SHOWER INSERT
	WALL-HUNG TOILET		WALL-HUNG LAVATORY
	D.S. - DOWNSPOUT - CONNECT TO STORM		FLOOR DRAIN
	TYPE 2A FIRE EXTINGUISHER IN SEMI-RECESSED CABINET		FIRE DEPARTMENT KNOCK BOX

**NOTE:** NOT ALL SYMBOLS ARE USED IN PLAN

**FLOOR PLAN KEYNOTES**

1. LINE OF ROOF ABOVE
2. BASE CABINET W/ PLAM COUNTER, UPPER CABINETS
3. NOT USED
4. MURPHY BED
5. BAR-HEIGHT PLAM COUNTER
6. HM DOOR WITH FULL LITE AND HM FRAME WITH FULL RELITE
7. PLAM SHELVING WITH ADJUSTABLE WALL BRACKETS
8. WIRE SHELVING
9. WD-1 BUNK DIVIDER, TYP. FLOOR, WALL, AND CEILING BRACKETS.
10. BUILT-IN WOOD BENCH
11. 2-TIER HDPE LOCKER (EACH LOCKER 18" DEEP x 22" WIDE x 32" HEIGHT)
12. MOBILITY AID - FREE-STANDING BARIATIRC TRAPEZE (1,000# CAPACITY)
13. BUILT-IN WOOD BENCH
14. RECESSED SERRATED ALUMINUM WALK-OFF GRATE
15. FREESTANDING STAINLESS STEEL FOOD PREP TABLE WITH UNDERSHELF
16. MTL-1 COUNTERS IN KITCHEN

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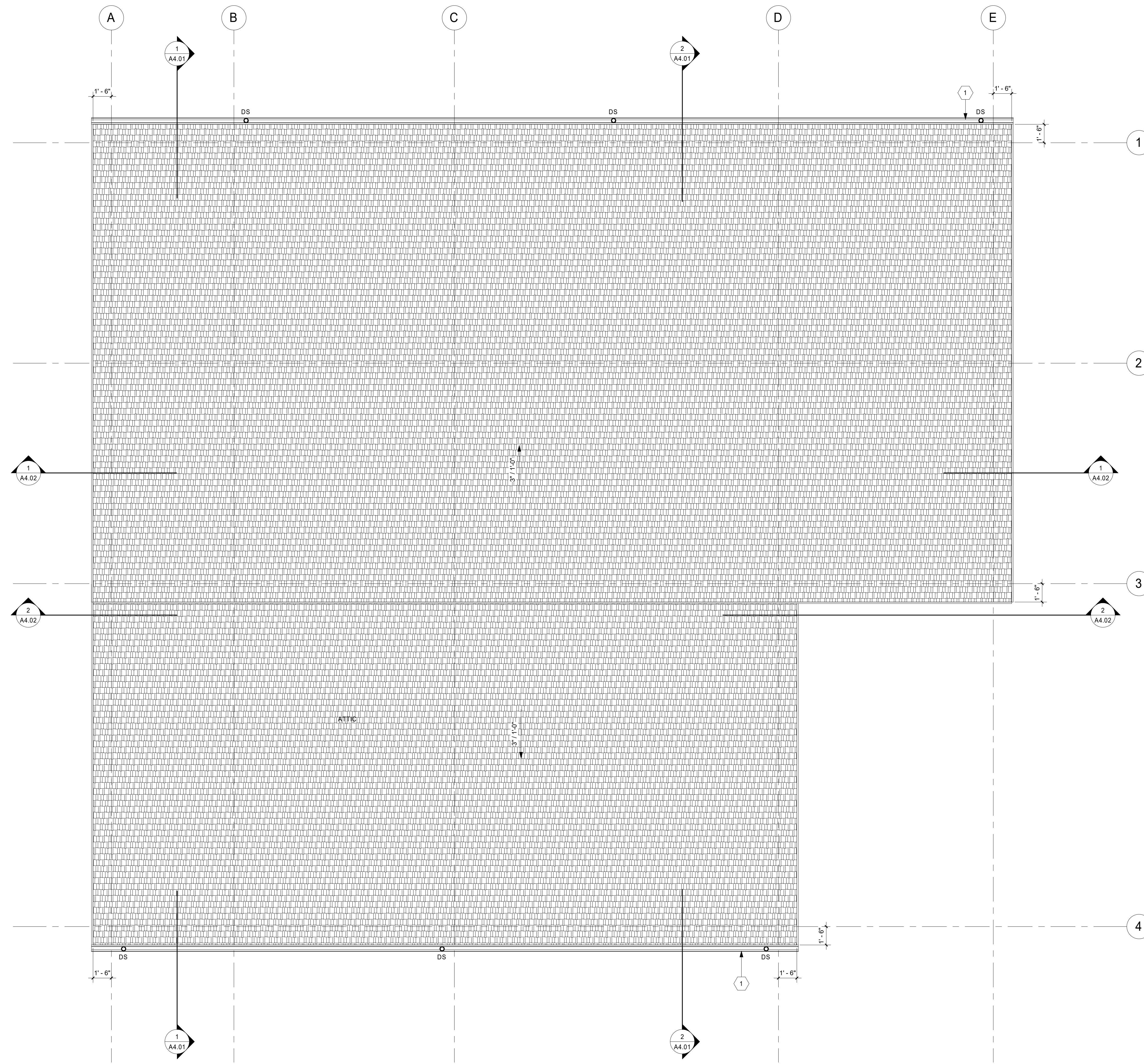
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**MADRAS SHELTER**  
 CITY OF MADRAS  
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**FLOOR PLAN**  
 Drawing Title: FLOOR PLAN  
 Drawn By: EN  
 Date: 3/29/2022  
 Project No.: 022044.000  
 Sheet No.: A2.10



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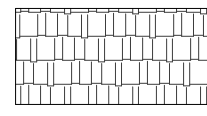
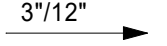




1 ROOF PLAN  
 1/4" = 1'-0" @ FULL SIZE  
 0' 1' 2' 4'

**ROOF PLAN GENERAL NOTES**

- A. ENSURE ROOF SLOPES TO DRAINS.
- B. PROVIDE ROOF CRICKETS AROUND OBSTRUCTIONS FOR POSITIVE DRAINAGE. 1/2" / FT. SLOPE MIN.
- C. PROVIDE FLASHING AND WATER-TIGHT SEAL AROUND ALL ROOF TOP EQUIPMENT AND PENETRATIONS; INCLUDING THOSE NOT SHOWN HERE. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR EQUIPMENT OR PENETRATIONS NOT SHOWN HERE.
- D. PROVIDE HEAT TRACE AT ALL ROOF DRAINS, BUILDING GUTTERS, AND DOWNSPOUTS. SEE ELECTRICAL.
- E. ROOF OVERHANG DIMENSIONS ARE TO END OF BEAM OR TOP CHORD EXTENSION.

**ROOF PLAN LEGEND**

-  ASPHALT SHINGLE ROOFING
-  3'x12' DIRECTION OF ROOF SLOPE
-  DS 4" DOWNSPOUT. CONNECT TO STORMWATER DRAINAGE SYSTEM. PROVIDE HEAT TRACE, TYP. - SEE ELECTRICAL
-  RV ROOF VENT PENETRATION. SEE DETAIL

**ROOF PLAN KEYNOTES**

- 1. CONTINUOUS INTEGRAL GUTTER. PROVIDE HEAT TRACE IN GUTTER AND DOWNSPOUTS PER ELECTRICAL.

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ROOF PLAN

Drawn By: EN  
 Date: 3/29/2022  
 Revised:

Project No. 0220441.000

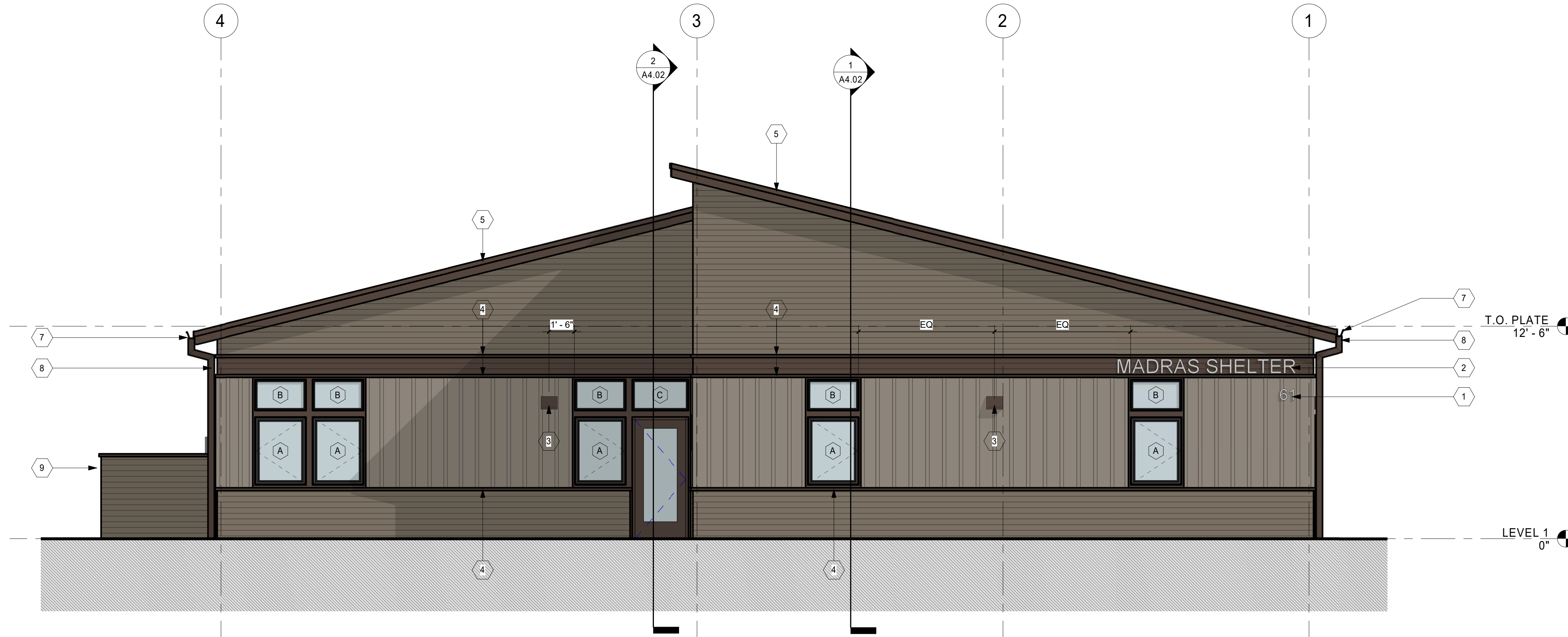
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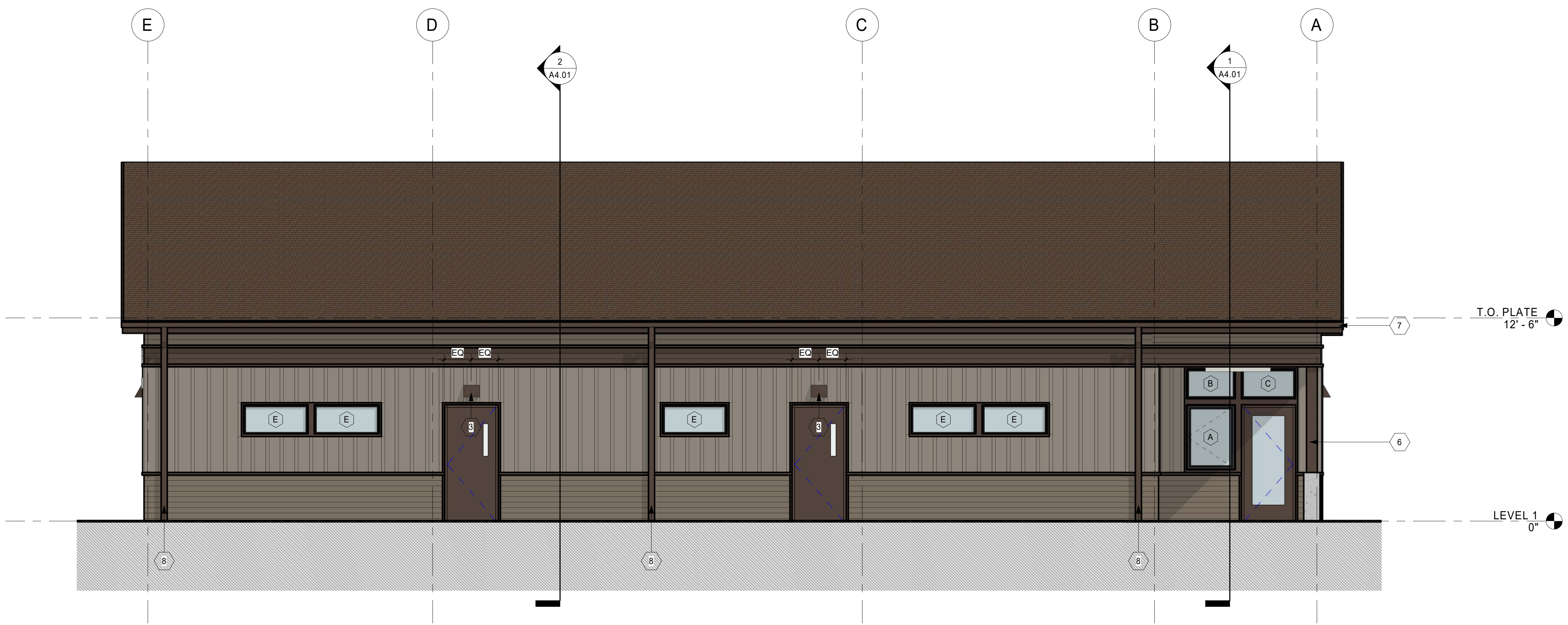
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2 EAST ELEVATION  
 1/4" = 1'-0" @ FULL SIZE



1 NORTH ELEVATION  
 1/4" = 1'-0" @ FULL SIZE

**EXTERIOR FINISH MATERIAL LEGEND**

- S-1: FIBER CEMENT SIDING**  
 MANUFACTURER: JAMES HARDIE  
 PRODUCT: HARDIE PANEL VERTICAL SIDING W/ RUSTIC GRAIN BATTEN BOARDS  
 TEXTURE: SELECT CEDARMILL, BATTENS @ 12" O.C.  
 COLOR: PT-10 BENJAMIN MOORE TAOS TAUPE 2111-40
- S-2: FIBER CEMENT SIDING**  
 MANUFACTURER: JAMES HARDIE  
 PRODUCT: HARDIE PLANK LAP SIDING, DREAM COLLECTION  
 TEXTURE: SELECT CEDARMILL, 4 IN. EXPOSURE  
 COLOR: PT-11 BENJAMIN MOORE WOODCLIFF LAKE 980
- S-3: FIBER CEMENT TRIM**  
 MANUFACTURER: JAMES HARDIE  
 PRODUCT: HARDIE PANEL VERTICAL SIDING W/ RUSTIC GRAIN BATTEN BOARDS  
 TEXTURE: SELECT CEDARMILL, BATTENS @ 12" O.C.  
 COLOR: PT-12 BENJAMIN MOORE MINK 2112-10
- R-1: ASPHALT SHINGLE ROOFING**  
 MANUFACTURER: GAF  
 PRODUCT: TIMBERLINE HDZ  
 COLOR: BARKWOOD

**EXTERIOR ELEVATION KEYNOTES**

1. BUILDING ADDRESS SIGNAGE
2. BUILDING NAME SIGNAGE - PROVIDE ELECTRICAL FOR LIGHTING
3. WALL-MOUNTED LIGHT FIXTURE WITH SHARP CUT-OFF (8'-0" AFF. UNO)
4. TRIM BOARD
5. BUILT-UP FASCIA (1X10 W/ 1X6)
6. WOOD POST WITH CONCRETE BASE
7. METAL GUTTER
8. METAL DOWNSPOUT, CONNECT TO STORM PER CIVIL
9. WOOD-FRAMED ENCLOSURE WITH FIBER CEMENT SIDING & GATE

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 MANUFACTURER: JAMES HARDIE  
 PRODUCT: HARDIE PANEL VERTICAL SIDING W/ RUSTIC GRAIN BATTEN BOARDS  
 TEXTURE: SELECT CEDARMILL, BATTENS @ 12" O.C.  
 COLOR: PT-10 BENJAMIN MOORE TAOS TAUPE 2111-40  
 MANUFACTURER: JAMES HARDIE  
 PRODUCT: HARDIE PLANK LAP SIDING, DREAM COLLECTION  
 TEXTURE: SELECT CEDARMILL, 4 IN. EXPOSURE  
 COLOR: PT-11 BENJAMIN MOORE WOODCLIFF LAKE 980  
 MANUFACTURER: JAMES HARDIE  
 PRODUCT: HARDIE PANEL VERTICAL SIDING W/ RUSTIC GRAIN BATTEN BOARDS  
 TEXTURE: SELECT CEDARMILL, BATTENS @ 12" O.C.  
 COLOR: PT-12 BENJAMIN MOORE MINK 2112-10  
 MANUFACTURER: GAF  
 PRODUCT: TIMBERLINE HDZ  
 COLOR: BARKWOOD

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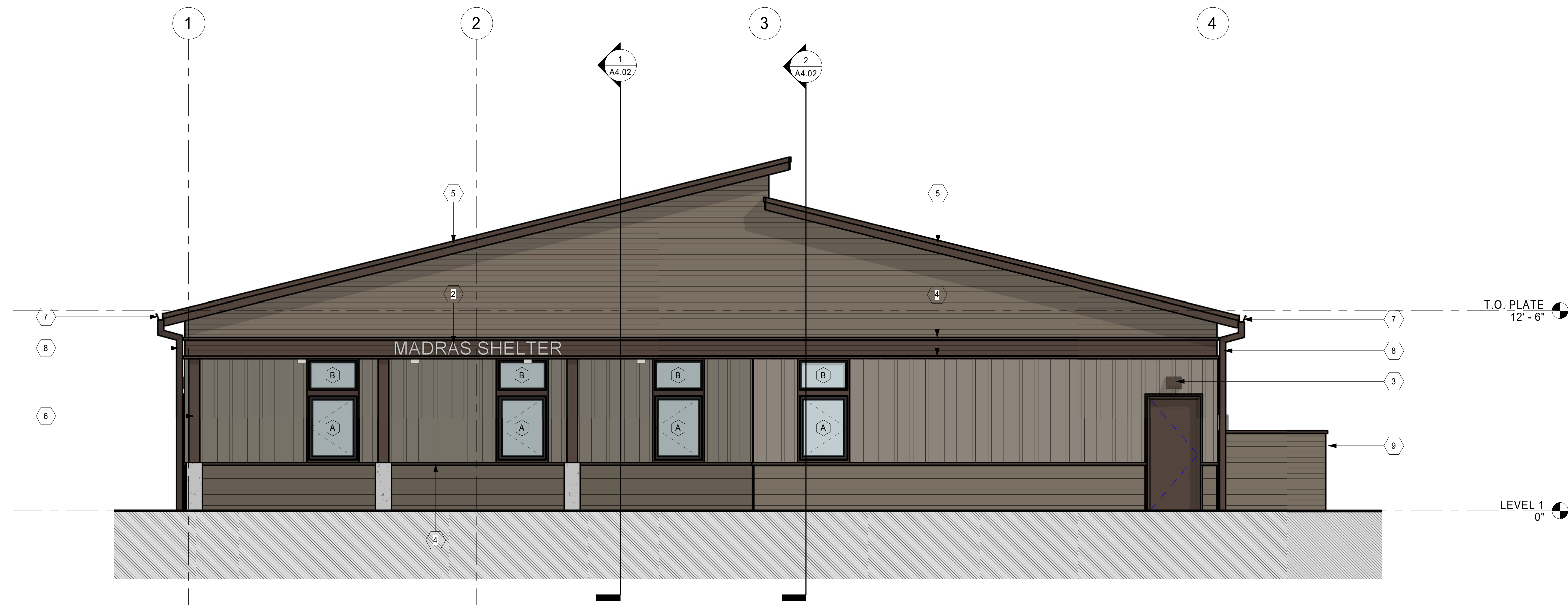
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Date: 3/29/2022	Drawn By: EN
Revised:	Project No. 0220441.000

Sheet No.  
**A3.01**



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2 WEST ELEVATION  
 1/4" = 1'-0" @ FULL SIZE  
 0' 1' 2' 4'



1 SOUTH ELEVATION  
 1/4" = 1'-0" @ FULL SIZE  
 0' 1' 2' 4'

**EXTERIOR FINISH MATERIAL LEGEND**

- S-1: FIBER CEMENT SIDING**  
 MANUFACTURER: JAMES HARDIE  
 PRODUCT: HARDIE PANEL VERTICAL SIDING W/ RUSTIC GRAIN BATTEN BOARDS  
 TEXTURE: SELECT CEDARMILL, BATTENS @ 12" O.C.  
 COLOR: PT-10 BENJAMIN MOORE TAOS TAUPE 2111-40
- S-2: FIBER CEMENT SIDING**  
 MANUFACTURER: JAMES HARDIE  
 PRODUCT: HARDIE PLANK LAP SIDING, DREAM COLLECTION  
 TEXTURE: SELECT CEDARMILL, 4 IN. EXPOSURE  
 COLOR: PT-11 BENJAMIN MOORE WOODCLIFF LAKE 980
- S-3: FIBER CEMENT TRIM**  
 MANUFACTURER: JAMES HARDIE  
 PRODUCT: HARDIE PANEL VERTICAL SIDING W/ RUSTIC GRAIN BATTEN BOARDS  
 TEXTURE: SELECT CEDARMILL, BATTENS @ 12" O.C.  
 COLOR: PT-12 BENJAMIN MOORE MINK 2112-10
- R-1: ASPHALT SHINGLE ROOFING**  
 MANUFACTURER: GAF  
 PRODUCT: TIMBERLINE HDZ  
 COLOR: BARKWOOD

**EXTERIOR ELEVATION KEYNOTES**

1. BUILDING ADDRESS SIGNAGE
2. BUILDING NAME SIGNAGE - PROVIDE ELECTRICAL FOR LIGHTING
3. WALL-MOUNTED LIGHT FIXTURE WITH SHARP CUT-OFF (8'-0" AFF. UNO)
4. TRIM BOARD
5. BUILT-UP FASCIA (1X10 W/ 1X6)
6. WOOD POST WITH CONCRETE BASE
7. METAL GUTTER
8. METAL DOWNSPOUT, CONNECT TO STORM PER CIVIL
9. WOOD-FRAMED ENCLOSURE WITH FIBER CEMENT SIDING & GATE

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 MANUFACTURER: JAMES HARDIE  
 PRODUCT: HARDIE PANEL VERTICAL SIDING W/ RUSTIC GRAIN BATTEN BOARDS  
 TEXTURE: SELECT CEDARMILL, BATTENS @ 12" O.C.  
 COLOR: PT-10 BENJAMIN MOORE TAOS TAUPE 2111-40  
 MANUFACTURER: JAMES HARDIE  
 PRODUCT: HARDIE PLANK LAP SIDING, DREAM COLLECTION  
 TEXTURE: SELECT CEDARMILL, 4 IN. EXPOSURE  
 COLOR: PT-11 BENJAMIN MOORE WOODCLIFF LAKE 980  
 MANUFACTURER: JAMES HARDIE  
 PRODUCT: HARDIE PANEL VERTICAL SIDING W/ RUSTIC GRAIN BATTEN BOARDS  
 TEXTURE: SELECT CEDARMILL, BATTENS @ 12" O.C.  
 COLOR: PT-12 BENJAMIN MOORE MINK 2112-10  
 MANUFACTURER: GAF  
 PRODUCT: TIMBERLINE HDZ  
 COLOR: BARKWOOD

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#	Date	Description

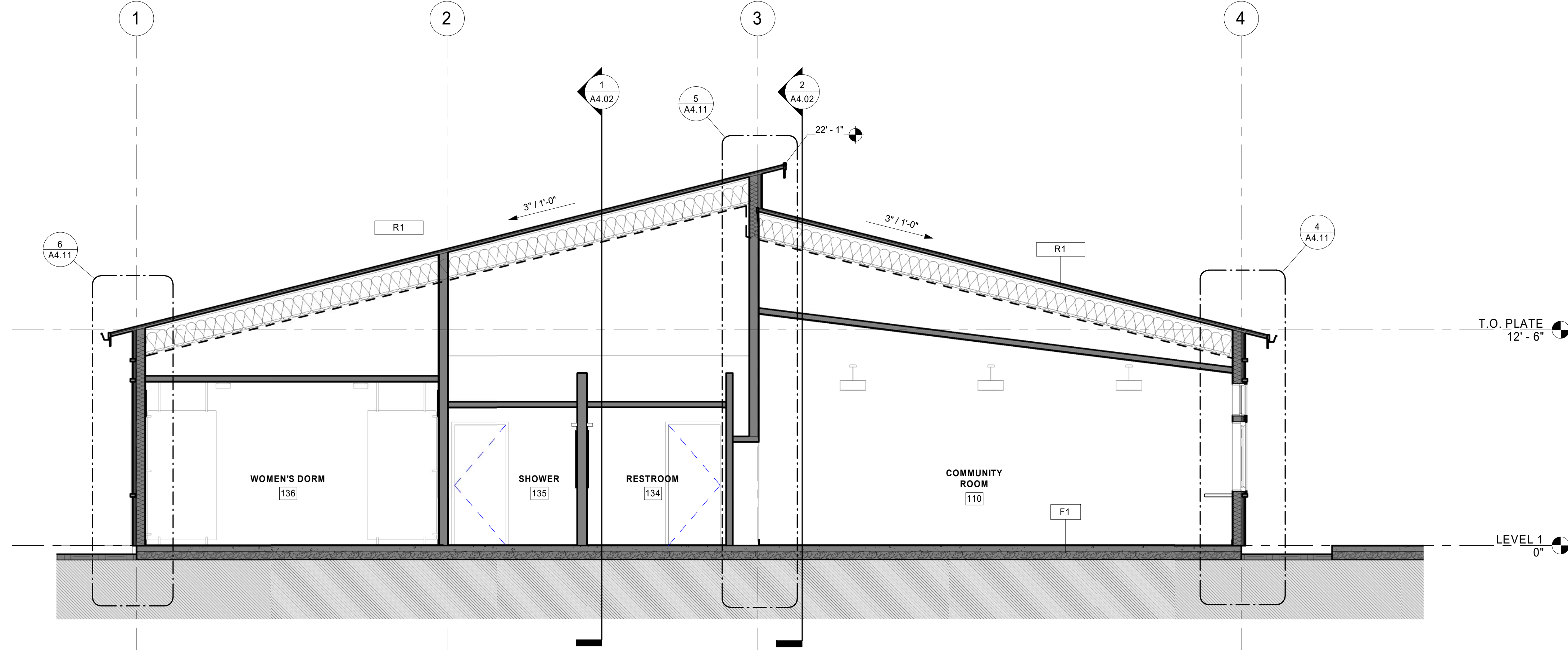
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EXTERIOR ELEVATIONS	
Drawn By:	Author
Date:	3/29/2022
Revised:	
Project No.	022044.000

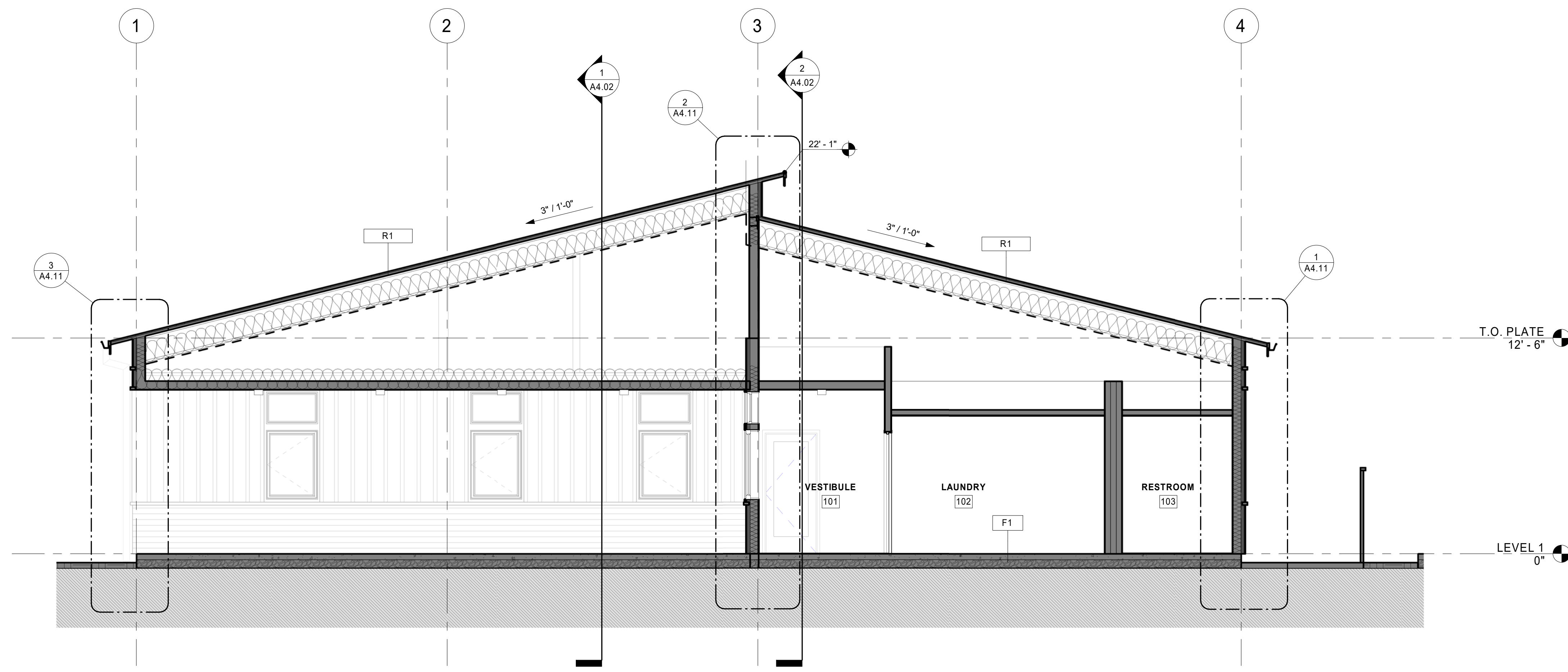
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2 NORTH-SOUTH BUILDING SECTION  
 1/4" = 1'-0" @ FULL SIZE



1 NORTH-SOUTH BUILDING SECTION  
 1/4" = 1'-0" @ FULL SIZE

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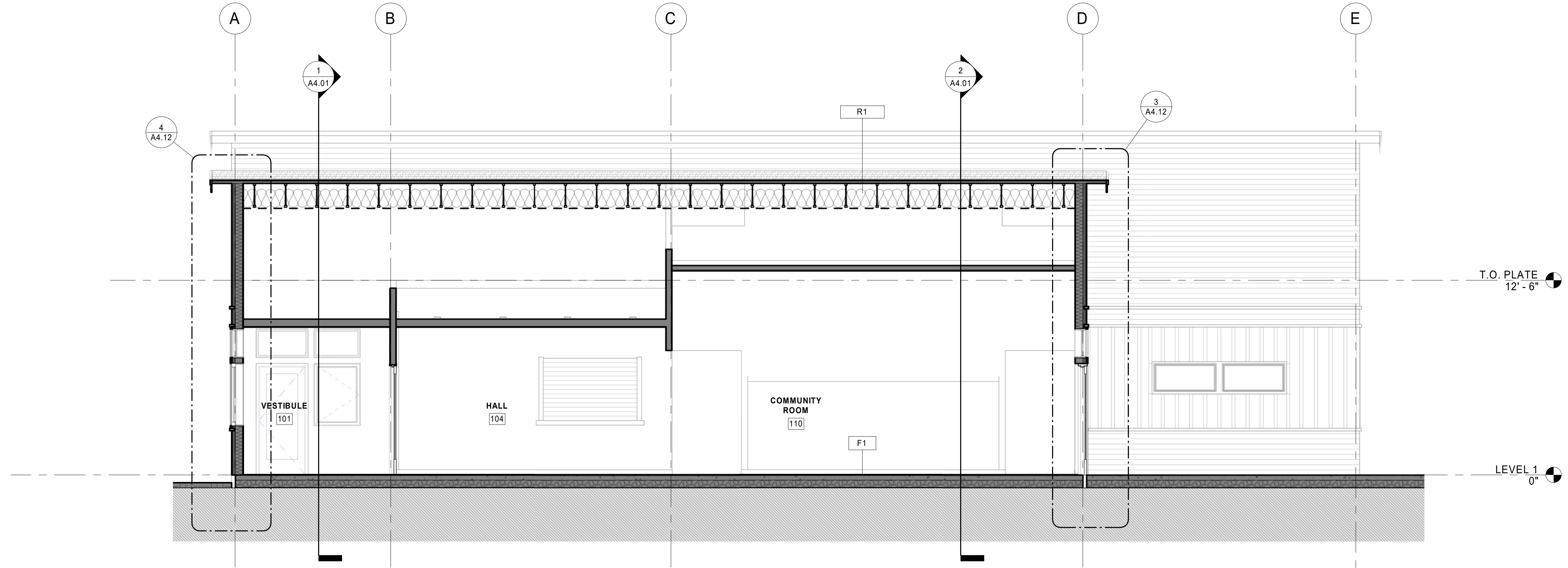
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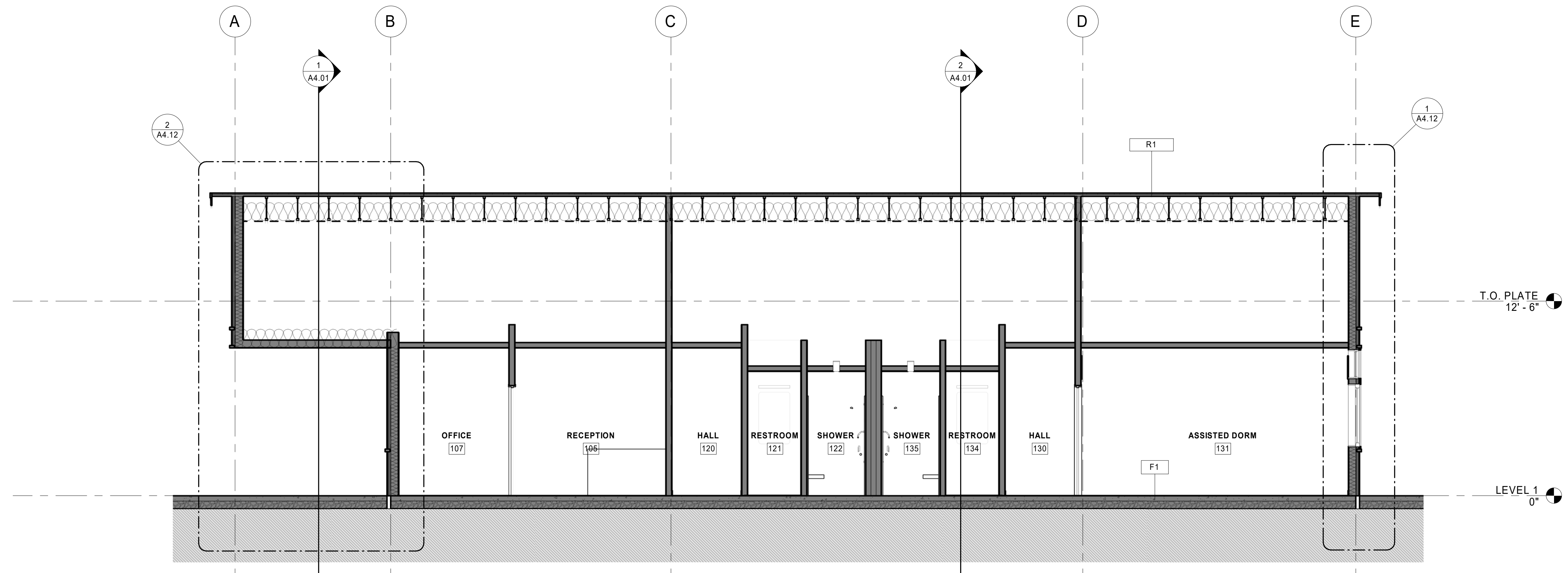
<b>BUILDING SECTIONS</b>		Project No. 0220441.000
Drawing Title:	Drawn By: EN	
Date: 3/29/2022	Revised:	



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2 EAST-WEST BUILDING SECTION  
 1/4" = 1'-0" @ FULL SIZE  
 0' 1' 2' 4'



1 EAST-WEST BUILDING SECTION  
 1/4" = 1'-0" @ FULL SIZE  
 0' 1' 2' 4'

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# Date Description

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BUILDING SECTIONS

Drawing Title:

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A4.02

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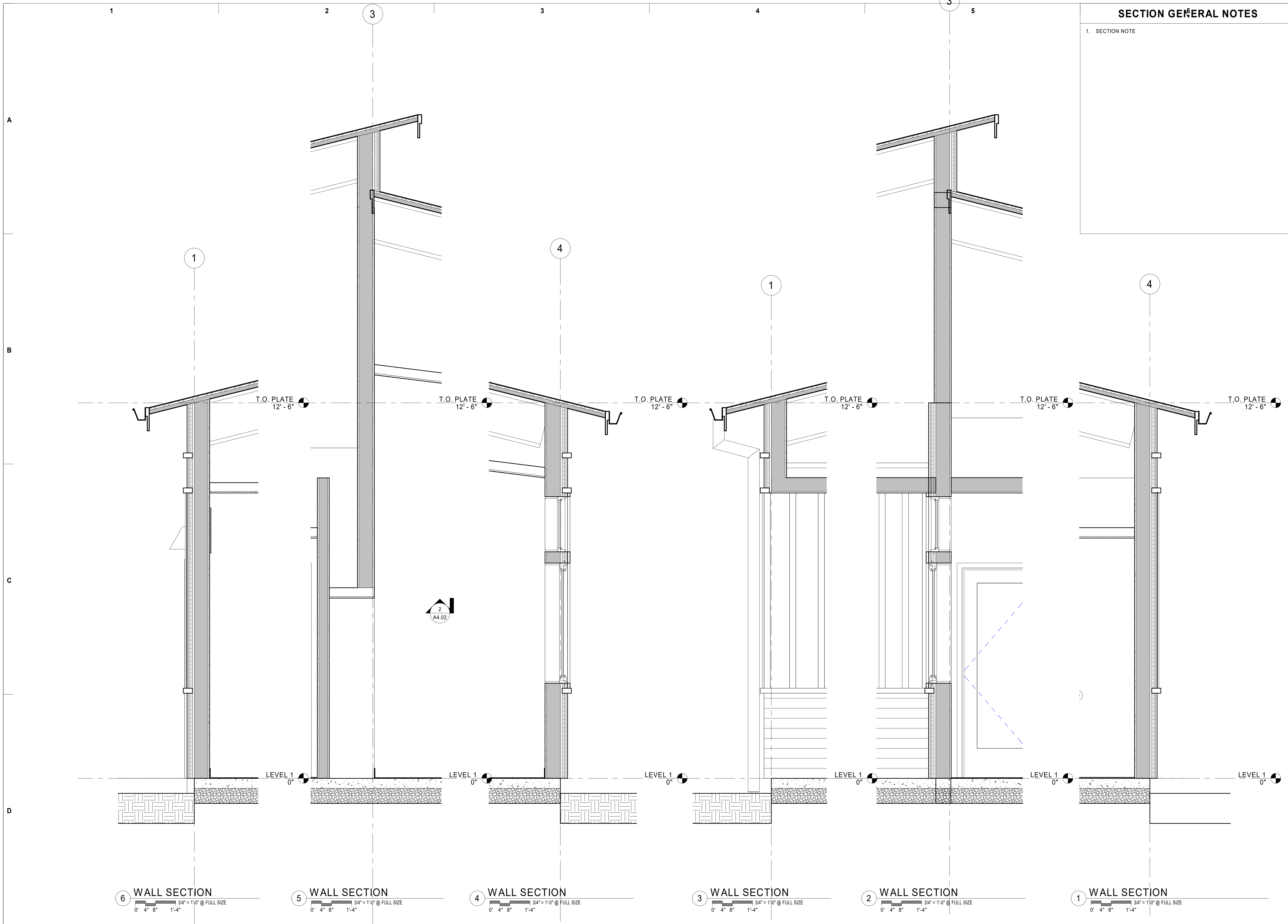
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**SECTION GENERAL NOTES**

1. SECTION NOTE

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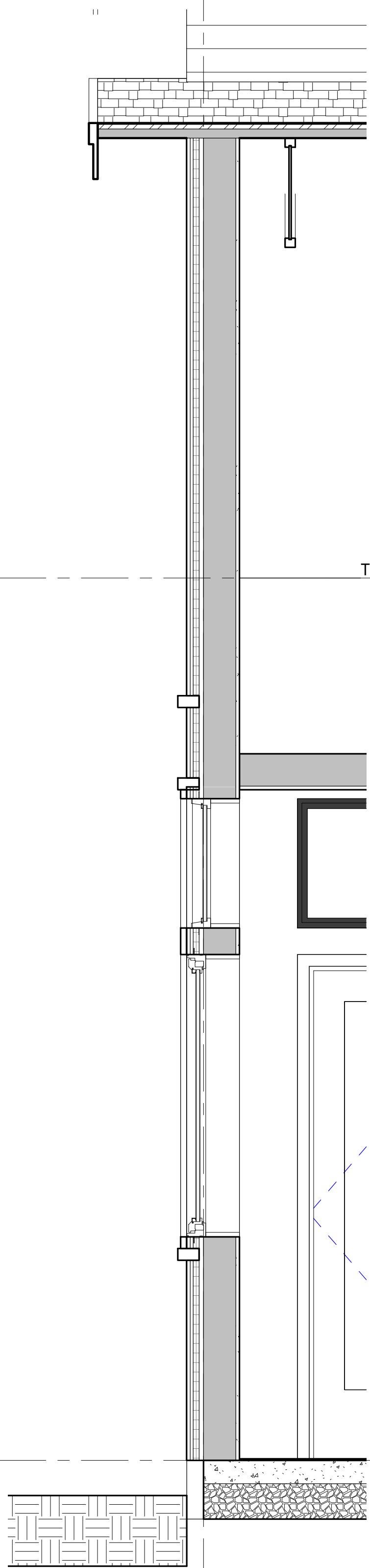
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Date: 3/29/2022	Drawn By: Author	Revised:
Sheet No.: <b>A4.11</b>		



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4 WALL SECTION  
3/4" = 1'-0" @ FULL SIZE  
0' 4' 8' 1'-4"

A

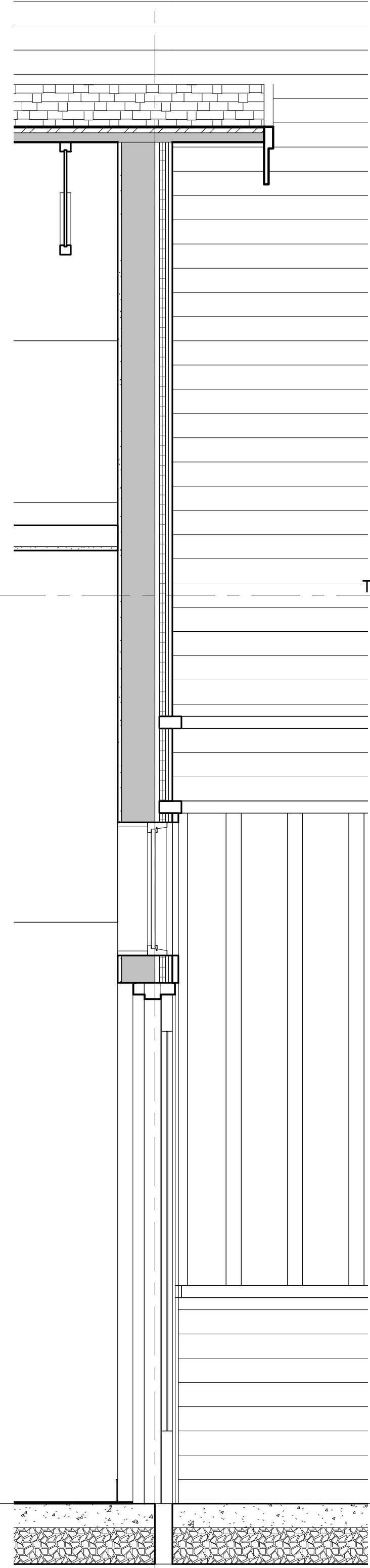


T.O. PLATE  
12' - 6"

LEVEL 1  
0"

3 WALL SECTION  
3/4" = 1'-0" @ FULL SIZE  
0' 4' 8' 1'-4"

D

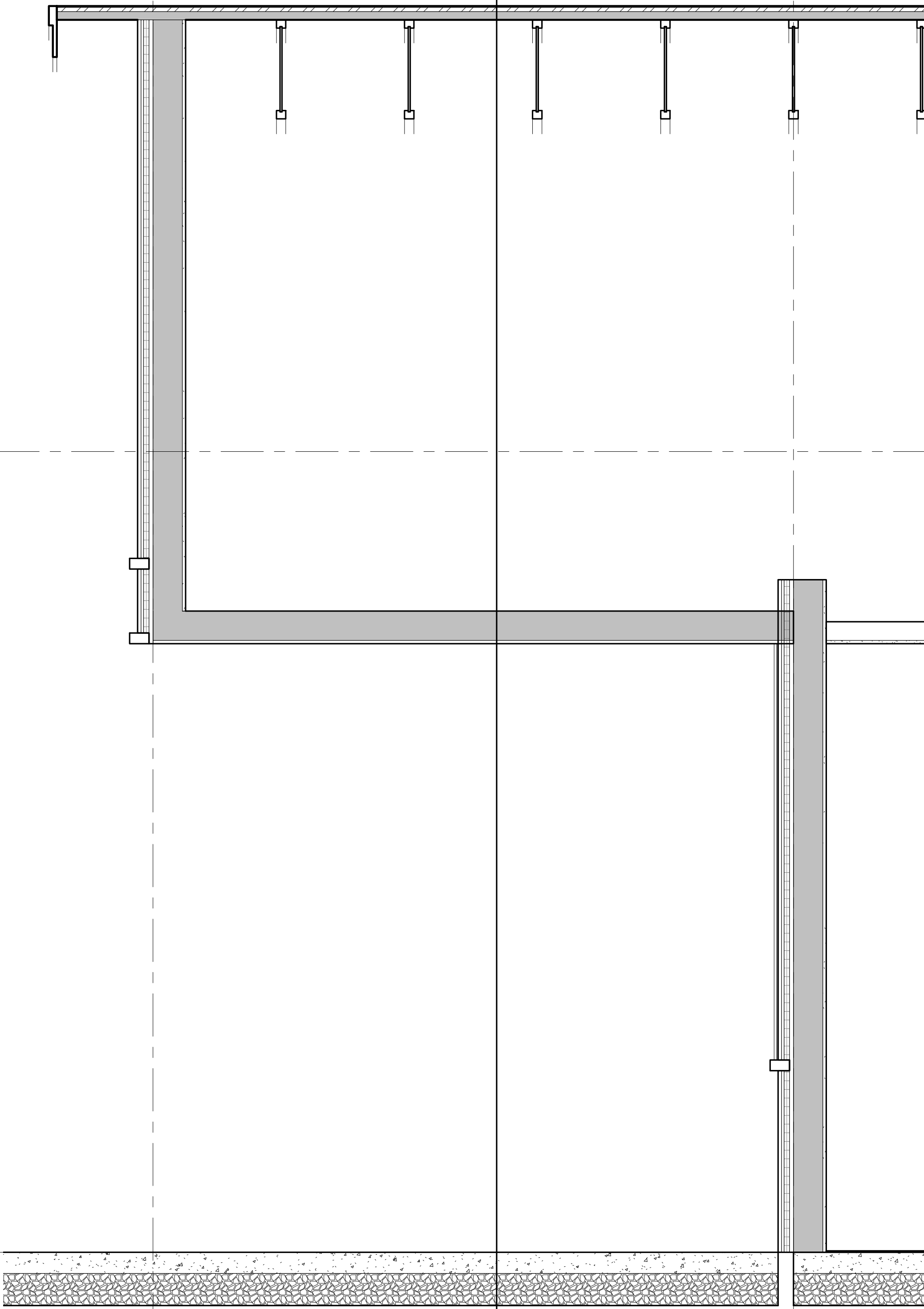


T.O. PLATE  
12' - 6"

LEVEL 1  
0"

2 WALL SECTION  
3/4" = 1'-0" @ FULL SIZE  
0' 4' 8' 1'-4"

A



T.O. PLATE  
12' - 6"

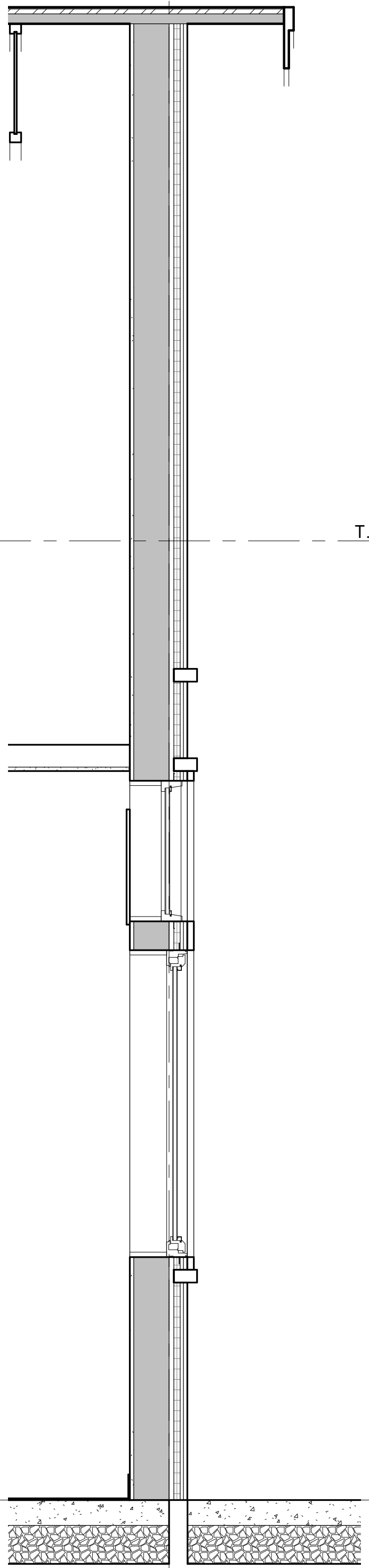
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A4.01

B

1 WALL SECTION  
3/4" = 1'-0" @ FULL SIZE  
0' 4' 8' 1'-4"

E



T.O. PLATE  
12' - 6"

LEVEL 1  
0"

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WALL SECTIONS

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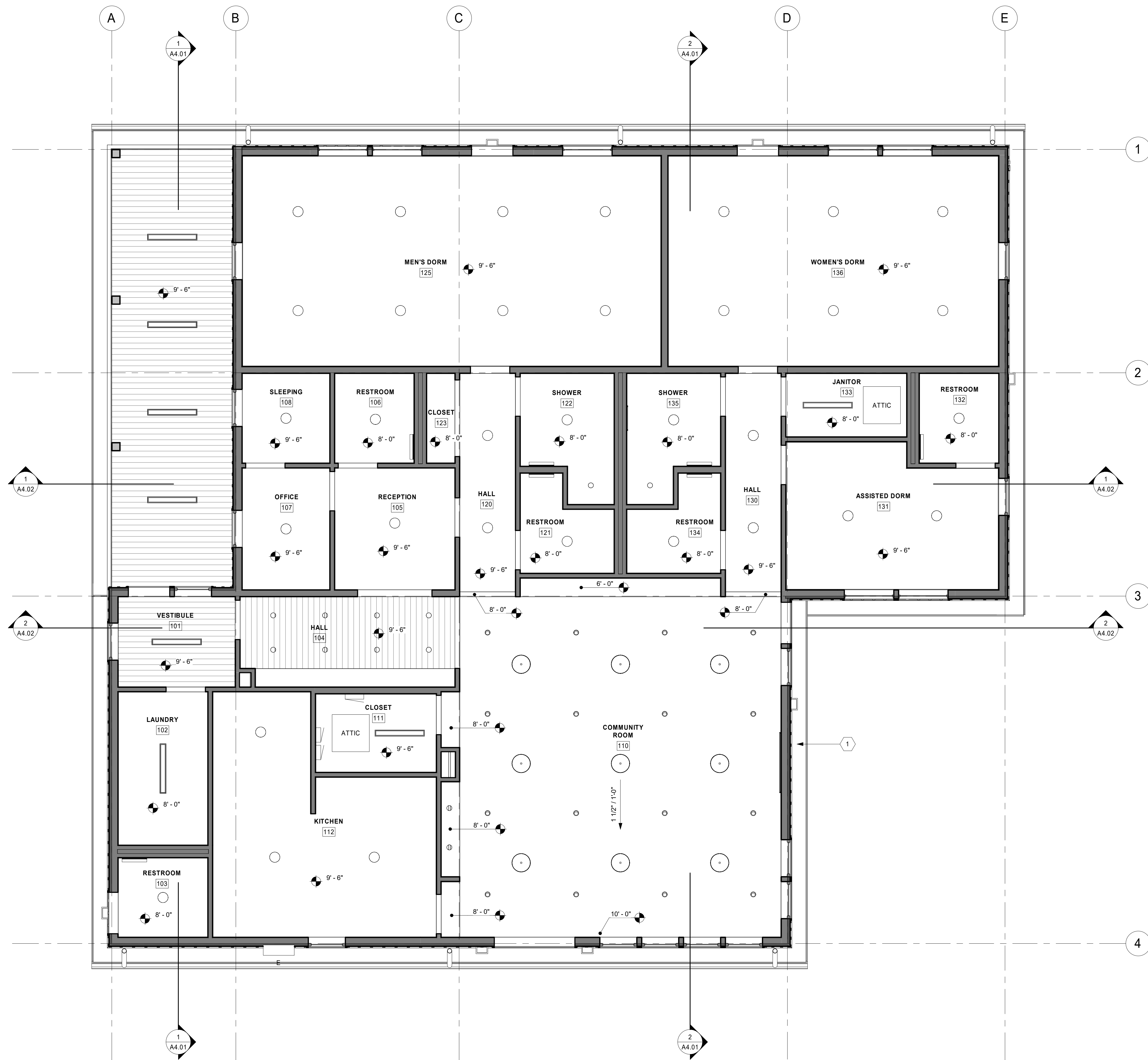
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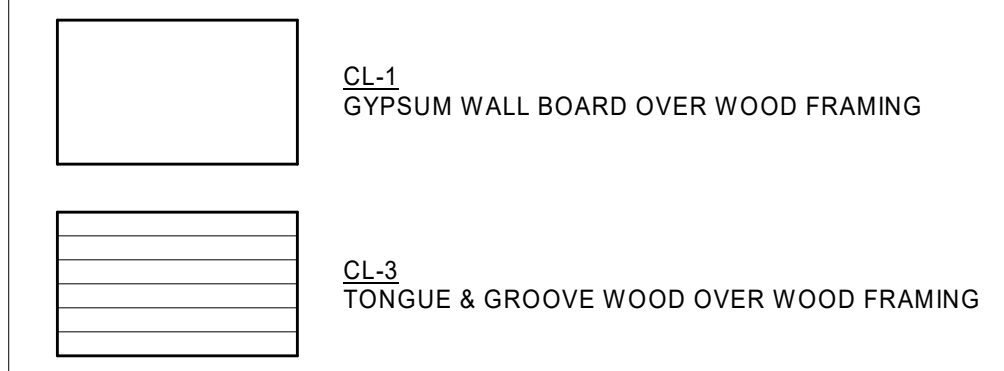


1 REFLECTED CEILING PLAN  
1/4" = 1'-0" @ FULL SIZE  
0' 2' 4' 8'

**RCP GENERAL NOTES**

- A. COORDINATE CEILING HEIGHTS WITH ALL MECHANICAL EQUIPMENT AND ELECTRICAL SYSTEMS. WHERE LIGHTING FIXTURES CONFLICT WITH VENTILATION, LIGHTING LOCATIONS TAKE PRECEDENCE.
- B. COORDINATE LIGHTING FIXTURES WITH ELECTRICAL AND MECHANICAL DRAWINGS. PROVIDE FIXTURES AS INDICATED ON THE LUMINAIRE SCHEDULE.
- C. REFER TO DETAILS, SHEET A8.05 FOR CEILING LATERAL BRACING.

**CEILING TYPES LEGEND**



**CEILING FIXTURE LEGEND**

- 2X4 RECESSED LUMINAIRE - SEE ELECTRICAL
- 2X2 RECESSED LUMINAIRE - SEE ELECTRICAL
- ▬ 4' SURFACE MOUNTED LINEAR LUMINAIRE - SEE ELECTRICAL
- RECESSED LUMINAIRE - SEE ELECTRICAL
- ▬ 2' LINEAR WALL SCONCE - SEE ELECTRICAL
- EXTERIOR WALL SCONCE - SEE ELECTRICAL
- ⊗ SUPPLY REGISTER, SEE MECHANICAL
- ⊘ RETURN REGISTER, SEE MECHANICAL
- ⊖ EXHAUST REGISTER, SEE MECHANICAL
- ATTIC ATTIC ACCESS HATCH -  
• SIZE: 36" X 36"  
• PROVIDE WEATHERSTRIPPING OR GASKET AROUND ACCESS HATCH OPENING.

**RCP KEYNOTES**

- 1. SOFFIT - PAINT ROOF SHEATHING AND FRAMING PT-11, TYPICAL

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REFLECTED CEILING PLAN  
Drawing Title:  
Date: 3/29/2022  
Author:  
Project No. 0220441.000

Sheet No. A6.10  
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1

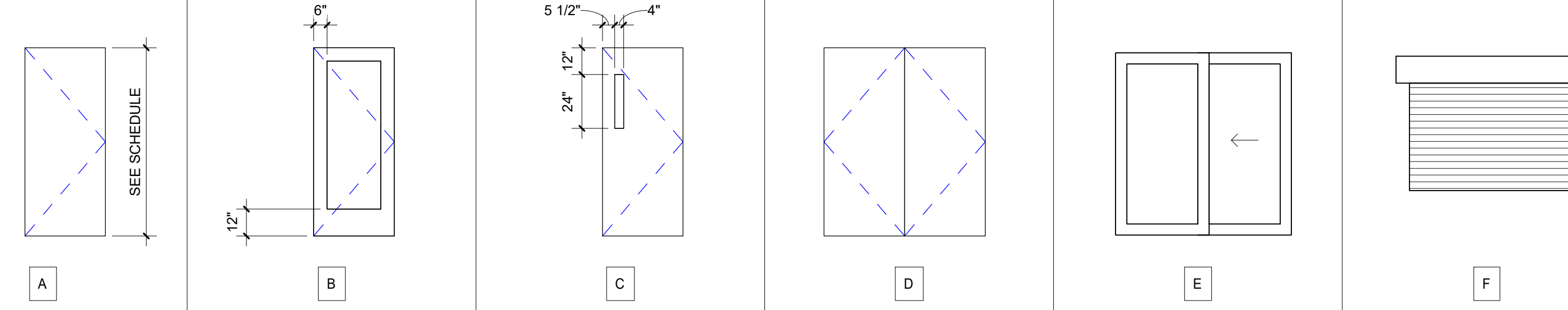
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3

DOOR TYPES 4

5

DOOR GENERAL NOTES



- A. ALL DOORS TO HAVE LEVERS FOR ACCESSIBILITY
- B. ALL LABELED DOORS SHALL BE GOVERNED BY UL REQUIREMENTS AND SHALL BEAR PHYSICAL UL LABEL OF FIRE RATING SPECIFIED.
- C. INTERIOR DOORS TO HAVE MAXIMUM EFFORT OF 15 LBS TO OPERATE, EXTERIOR DOORS: 8 1/2 LBS., FIRE RATED DOORS: 15 LBS., NON FIRE RATED DOORS: 5 LBS. (NOT APPLICABLE FOR SUITE DOORS)
- D. VERIFY ALL PARTITION THICKNESSES PRIOR TO DETERMINING FRAME THROAT SIZES
- E. ALL DOOR FRAME DEPTH SIZE DIMENSIONS SHALL BE 1/8" GREATER ON EACH SIDE OF PARTITION WHERE SNAP-ON CASING IS SCHEDULED
- F. DOUBLE DOORS SHALL HAVE METAL ASTRAGAL
- G. ALL FIRE RATED DOOR FRAMES SHALL BE 18 GAUGE
- H. ALL VISION PANELS IN DOOR JAMBS SHALL HAVE AN 18 GAUGE STEEL FRAME
- I. PER SECTION 715.4.3.1, ALL FIRE-RATED DOOR ASSEMBLIES SHALL ALSO MEET THE REQUIREMENTS FOR A SMOKE AND DRAFT CONTROL DOOR ASSEMBLY TESTED IN ACCORDANCE WITH UL 1784 WITH AN ARTIFICIAL BOTTOM SEAL INSTALLED ACROSS THE FULL WIDTH OF THE BOTTOM OF THE DOOR ASSEMBLY. THE AIR LEAKAGE RATE OF THE DOOR ASSEMBLY SHALL NOT EXCEED 3.0 CUBIC FEET PER MINUTE PER SQUARE OF DOOR OPENING AT 0.10 INCH OF WATER FOR BOTH THE AMBIENT TEMPERATURE TEST AND THE ELEVATED TEMPERATURE EXPOSURE TEST.
- J. DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT AND SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE
- K. PROVIDE TEMPERED SAFETY GLAZING IN DOORS PER OSSC 2406.4.1.
- L. ALL HAND-ACTVATED DOOR OPENING HARDWARE SHALL MEET THE FOLLOWING REQUIREMENTS:
  - CENTERED AT LEAST 34", BUT NO MORE THAN 48" A.F.F.
  - LATCHING OR LOCKING DOORS IN A PATH OF TRAVEL SHALL BE OPERATED WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE WITHOUT NEED TO GRASP HARDWARE.
  - MAXIMUM EFFORT TO OPERATE DOORS SHALL BE EQUAL TO 8 1/2 LBS AT EXTERIOR DOORS AND LESS THAN OR EQUAL TO 5 LBS AT INTERIOR DOORS.
  - RESTROOM DOORS SHALL BE PROVIDED WITH OCCUPANCY INDICATOR.
  - CONTRACTOR TO VERIFY SIZES OF ROUGH DOOR OPENINGS PRIOR TO ORDERING DOORS.

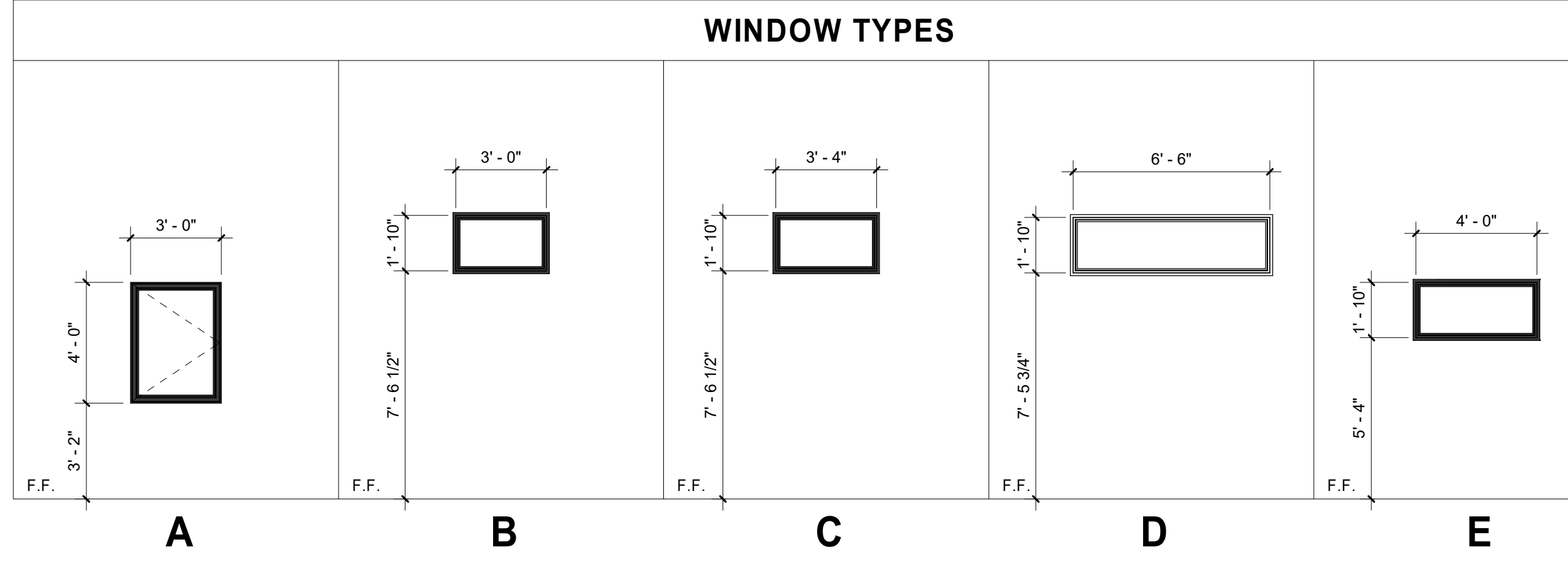
DOOR SCHEDULE

MARK	DOOR			FIRE RATING	DOOR PANEL			DOOR FRAME		HARDWARE	U-VALUE	SHGC	COMMENTS
	WIDTH	HEIGHT			TYPE	MATERIAL	FINISH	MATERIAL	FINISH				
LEVEL 1													
101	3'-0"	7'-0"	--	B	HM-IS/G-3	PT	HM	PT		U-0.63	0.33		
102	3'-0"	7'-0"	--	A	SC-V	PL-1	HM	PT					
103	3'-0"	7'-0"	--	A	HM-IS	PT	HM-IS	PT		U-0.37			
104	3'-0"	7'-0"	--	B	SC-V/G-1	PL-1	HM	PT					
105A	3'-0"	7'-0"	--	A	SC-V	PL-1	HM	PT					
105B	6'-0"	4'-0"	--	F	MTL	MFR	MFR	MFR					
106	3'-0"	7'-0"	--	A	SC-V	PL-1	HM	PT					
107	3'-0"	7'-0"	--	A	SC-V	PL-1	HM	PT					
108	3'-0"	7'-0"	45 MIN.	A	SC-V	PL-1	HM	PT					
110A	3'-0"	7'-0"	--	B	HM-IS/G-3	PT	HM-IS	PT		U-0.63	0.33		
110B	6'-6"	6'-10"	--	E	VN/TG	MFR	VN	MFR		U-0.63	0.33		
111	3'-0"	7'-0"	--	A	SC-V	PL-1	HM	PT					
112	3'-0"	7'-0"	--	A	SC-V	PL-1	HM	PT					
121	3'-0"	7'-0"	--	A	SC-V	PL-1	HM	PT					
122	3'-0"	7'-0"	--	A	SC-V	PL-1	HM	PT					
123	6'-0"	7'-0"	--	A	SC-V	PL-1	HM	PT					
125A	3'-0"	7'-0"	45 MIN.	A	SC-V	PL-1	HM	PT					
125B	3'-0"	7'-0"	--	C	HM-IS/G-3	PT	HM-IS	PT		U-0.63	0.33		
131	3'-0"	7'-0"	45 MIN.	A	SC-V	PL-1	HM	PT					
132	3'-0"	7'-0"	45 MIN.	A	SC-V	PL-1	HM	PT					
133	3'-0"	7'-0"	--	A	SC-V	PL-1	HM	PT					
134	3'-0"	7'-0"	--	A	SC-V	PL-1	HM	PT					
135	3'-0"	7'-0"	--	A	SC-V	PL-1	HM	PT					
136A	3'-0"	7'-0"	45 MIN.	A	SC-V	PL-1	HM	PT					
136B	3'-0"	7'-0"	--	C	HM-IS/G-3	PT	HM-IS	PT		U-0.63	0.33		

DOOR SCHEDULE NOTES

- D-1 PROVIDE THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED SIGN PER OSSC 1008.1.9.3. INSTALL ON DOOR FRAME AT HEAD OF DOOR.
- D-2 PROVIDE DOOR WITH 3/4" UNDERCUT PER MECHANICAL FOR SUPPLY AIR
- D-3 NOTE
- D-4 NOTE
- D-5 NOTE
- D-6 NOTE

WINDOW TYPES



WINDOW GENERAL NOTES

- A. PERIMETER DIMENSIONS ARE TO ROUGH OPENING.
- B. CONTRACTOR TO VERIFY SIZES OF ROUGH WINDOW OPENINGS PRIOR TO ORDERING WINDOWS.
- C. U-FACTORS OF FENESTRATION PRODUCTS ARE TO BE LABELED AND CERTIFIED BY THE MANUFACTURER OR ARE DETERMINED USING THE COMMERCIAL SIZE CATEGORY VALUES LISTED IN CHAPTER 15 OF THE 2009 ASHRAE HANDBOOK OF FUNDAMENTALS.
- D. THE TEMPORARY LABEL AFFIXED TO FENESTRATION PRODUCT MUST NOT BE REMOVED PRIOR TO INSPECTION.
- E. SOLAR HEAT GAIN COEFFICIENT (SHGC) OF FENESTRATION PRODUCTS SHALL BE LABELED AND CERTIFIED BY THE MANUFACTURER OR BE DETERMINED USING THE SOLAR HEAT GAIN COEFFICIENTS USING THE SHGC IN CHAPTER 15 OF THE 2009 ASHRAE HANDBOOK OF FUNDAMENTALS, TABLE NO. 10. THE OVERALL VALUES MUST CONSIDER THE TYPE OF FRAME MATERIAL AND OPERATOR FOR THE SHGC AT NORMAL INCIDENCE.
- F. SEE DETAIL SHEET A7.02 FOR WINDOW HEAD, JAMB, AND SILL DETAILS. COORDINATE WITH EXTERIOR ELEVATIONS FOR FINISH MATERIAL.
- G. PROVIDE WINDOW CONTROL OPENING DEVICES ON OPERABLE WINDOWS.
- H. PROVIDE TEMPERED SAFETY GLAZING AT WINDOWS ADJACENT TO DOORS PER OSSC 2406.4.2.

FINISH TAG KEY

CONSTRUCTION	GLASS TYPES	FINISH
ALUM: ALUMINUM	G-1: CLEAR TEMPERED	P-1: PAINT, COLOR TO MATCH EXISTING
FIG: FIBERGLASS INSULATED CORE (BENCHMARK OR APPROVED)	G-2: INSULATED	P-2: PAINT, COLOR _____
HC-W: HOLLOW CORE WOOD VENEER	G-3: TEMPERED/INSULATED	S-1: STAINED, CLEAR STAIN
HC-H: HOLLOW CORE HARDBOARD FACED	G-4: FIRE RATED GLAZING, RATING SAME AS DOOR	S-2: STAINED, PREFINISHED, COLOR _____
HM: HOLLOW METAL		
HM-IS: HOLLOW METAL INSULATED		
MFR: PER MANUFACTURER		
MTL: METAL (TIMELY OR SIMILAR)		
MTL-IS: INSULATED METAL		
SC-W: SOLID CORE WOOD		
SC-V: SOLID CORE VENEER		
STF: STOREFRONT, ANODIZED		
VN: VINYL		
WD: WOOD		

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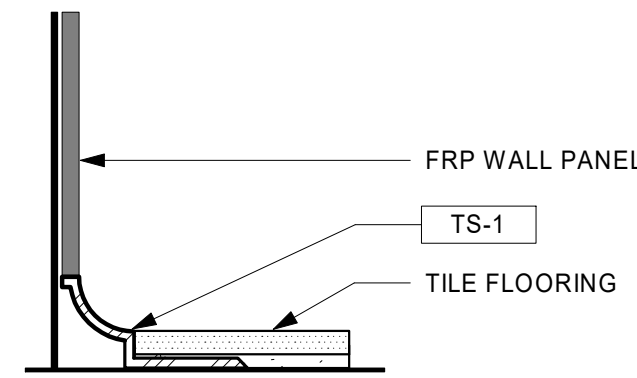
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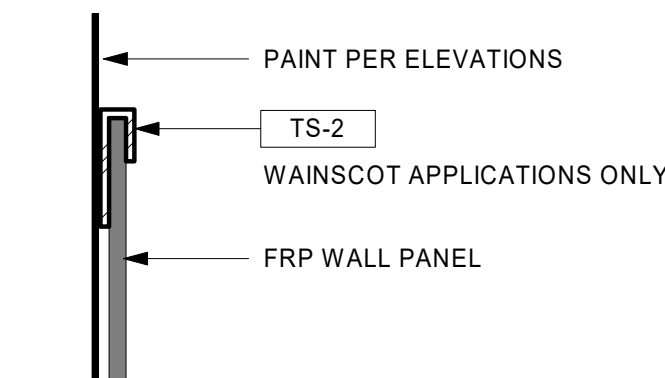
**MADRAS SHELTER**  
 CITY OF MADRAS  
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**DOOR AND WINDOW SCHEDULES**  
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 Author: \_\_\_\_\_  
 Project No: 0220444.000  
 Revised: \_\_\_\_\_

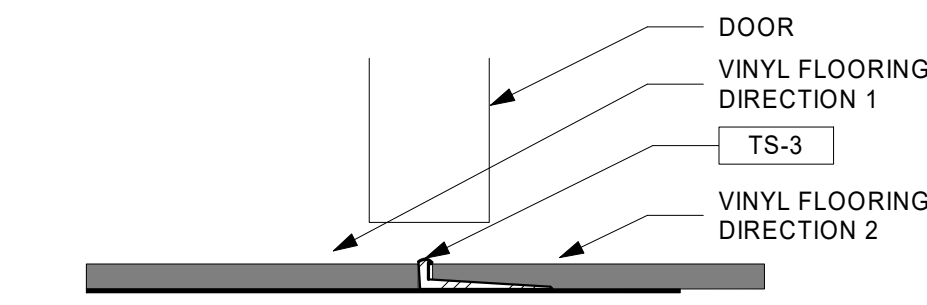
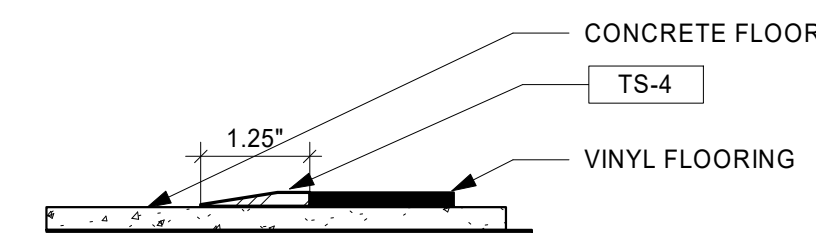
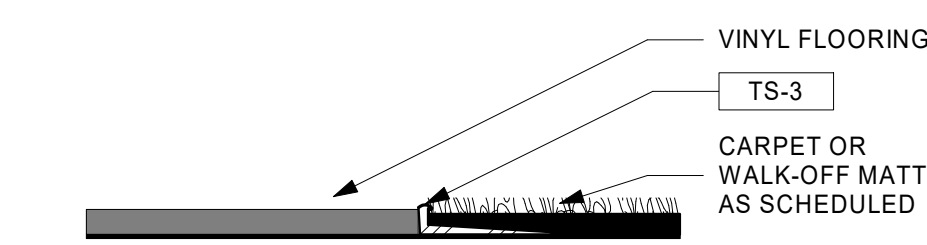
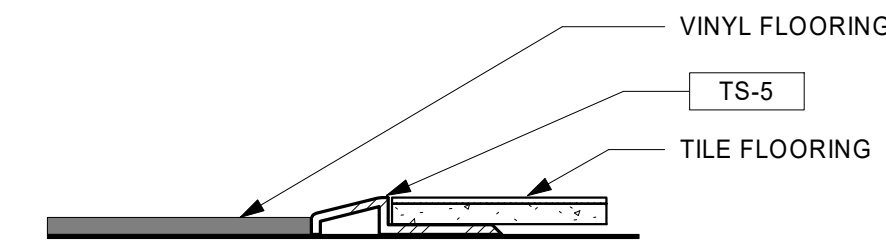
Sheet No. **A7.01**



2 FLOOR TO WALL TRANSITIONS  
N.T.S.



3 WALL TRANSITIONS  
N.T.S.



\*ONLY AT DOOR THRESHOLDS WHERE LVT INSTALLATION CHANGES DIRECTION. REFER TO FINISH PLAN.

1 FLOOR TRANSITIONS  
N.T.S.

TILE INSTALLATION METHODS		FINISH LOCATION KEY	
LOCATION	INSTALLATION METHOD		
TYP. BATHROOM FLOOR	F14-715	4 - CEILING	
TYP. BATHROOM FLOOR	B440-15	3 - WALL FINISH	
TYP. BATHROOM FLOOR	TYP. BATHROOM FLOOR	2 - WALL BASE	
TYP. BATHROOM FLOOR	TYP. BATHROOM FLOOR	1 - FLOOR	

**PAINT - INTERIOR**

- PT-1 **MAIN WALL PAINT**  
MFR: JONSONITE (OR EQUAL)  
COLOR: FAWN CB80  
HEIGHT: 4"  
USE: ON ALL WALLS, UNLESS OTHERWISE INDICATED
- PT-2 **ACCENT WALL PAINT**  
MFR: TARKETT  
COLOR: EGG SHELL  
SHEEN: FLAT  
NOTES: MAIN CEILING COLOR
- PT-3 **ACCENT WALL PAINT**  
MFR: TARKETT  
COLOR: EGG SHELL  
SHEEN: FLAT  
NOTES: MAIN CEILING COLOR
- PT-4 **TRIM PAINT**  
MFR: TARKETT  
COLOR: EGG SHELL  
SHEEN: FLAT  
NOTES: MAIN CEILING COLOR
- PT-5 **RESTROOM PAINT**  
MFR: TARKETT  
COLOR: EGG SHELL  
SHEEN: FLAT  
NOTES: MAIN CEILING COLOR
- PT-6 **CEILING PAINT**  
MFR: TARKETT  
COLOR: EGG SHELL  
SHEEN: FLAT  
NOTES: MAIN CEILING COLOR
- PT-7 **ACCENT CEILING PAINT**  
MFR: TARKETT  
COLOR: EGG SHELL  
SHEEN: FLAT  
NOTES: MAIN CEILING COLOR
- PT-10 **WALL PAINT**  
MFR: BENJAMIN MOORE  
COLOR: TAO'S TAUPE 2111-40  
SHEEN: SATIN  
NOTES:
- PT-11 **WALL PAINT**  
MFR: BENJAMIN MOORE  
COLOR: WOODCLIFF LAKE 980  
SHEEN: SATIN  
NOTES:
- PT-12 **TRIM PAINT**  
MFR: BENJAMIN MOORE  
COLOR: MINK 2112-10  
SHEEN: SATIN  
NOTES:

**PAINT - EXTERIOR**

- PT-10 **WALL PAINT**  
MFR: BENJAMIN MOORE  
COLOR: TAO'S TAUPE 2111-40  
SHEEN: SATIN  
NOTES:
- PT-11 **WALL PAINT**  
MFR: BENJAMIN MOORE  
COLOR: WOODCLIFF LAKE 980  
SHEEN: SATIN  
NOTES:
- PT-12 **TRIM PAINT**  
MFR: BENJAMIN MOORE  
COLOR: MINK 2112-10  
SHEEN: SATIN  
NOTES:

**TRANSITION STRIPS - REFER TO DETAILS**

- TS-1 **COVE BASE - FRP TO TILE**  
MFR: SCHLUTER OR EQUAL  
TYPE: Dilex-AHKA COVE BASE  
FINISH: SATIN ANODIZED ALUMINUM  
NOTES:
- TS-2 **FRP TRIM - TOP EDGE**  
MFR: MARLITE OR EQUAL  
TYPE: A570  
FINISH: SATIN ANODIZED ALUMINUM  
NOTES:
- TS-3 **CARPET TO LVT**  
LVT TO LVT  
MFR: TARKETT  
TYPE: METALEDGE  
FINISH: STEEL  
NOTES: \*REFER TO DETAILS AND FINISH PLAN FOR LOCATION.
- TS-4 **LVT TO CONCRETE**  
MFR: TARKETT  
TYPE: REDUCER RRS  
FINISH: MATCH LVT-1  
NOTES:
- TS-5 **LVT/CARPET TO TILE**  
MFR: SCHLUTER OR EQUAL  
TYPE: RENO-U  
FINISH: SATIN ANODIZED ALUMINUM  
NOTES:

**VINYL FLOORING**

- LVT-1 **VINYL PLANK**  
MFR: TARKETT  
PRODUCT: ID MIXONIMI  
SHAPE: TRAPEZE  
COLORS: COLOMBO, MILK  
SIZE: 16.66 x 38.486 cm  
NOTES: RUN PATTERN IN DIRECTION AS SHOWN ON FINISH PLAN.
- LVT-2 **VINYL TILE**  
MFR: TARKETT  
PRODUCT: ID MIXONIMI  
SHAPE: TRAPEZE  
COLORS: COLOMBO, MILK  
SIZE: 16.66 x 38.486 cm  
NOTES: RUN PATTERN IN DIRECTION AS SHOWN ON FINISH PLAN.

**CARPET**

- CPT-1 **WALK OFF TILE**  
MFR: MILLIKEN OR EQUAL  
PRODUCT: KEYSTONES UNGLAZED PORCELAIN  
COLOR: ARID GRAY  
SIZE: 6" X 6"  
GROUT: MATCH QT-1  
NOTES: PROVIDE COVE BASE TILE CORNERS AT OUTSIDE AND INSIDE CORNERS
- CPT-2 **WALK OFF TILE**  
MFR: MILLIKEN OR EQUAL  
PRODUCT: KEYSTONES UNGLAZED PORCELAIN  
COLOR: ARID GRAY  
SIZE: 6" X 6"  
GROUT: MATCH QT-1  
NOTES: PROVIDE COVE BASE TILE CORNERS AT OUTSIDE AND INSIDE CORNERS

**TILE**

- T-1 **MOSAIC TILE**  
MFR: DAL TILE OR EQUAL  
PRODUCT: KEYSTONES UNGLAZED PORCELAIN  
COLOR: ARID GRAY  
SIZE: 2" X 2" TILE, 12" X 12" SHEET  
GROUT: MATCH QT-1  
NOTES: PROVIDE COVE BASE TILE CORNERS AT OUTSIDE AND INSIDE CORNERS
- TB-1 **MOSAIC TILE**  
MFR: DAL TILE OR EQUAL  
PRODUCT: KEYSTONES UNGLAZED PORCELAIN  
COLOR: ARID GRAY  
SIZE: BUILD-UP COVE BASE SHEET  
GROUT: MATCH QT-1  
NOTES: PROVIDE COVE BASE TILE CORNERS AT OUTSIDE AND INSIDE CORNERS
- QT-1 **QUARRY TILE**  
MFR: DAL TILE OR EQUAL  
PRODUCT: QUARRY TILE COVE BASE  
COLOR: ARID GRAY  
SIZE: 6" X 6"  
GROUT: MATCH QT-1  
NOTES: PROVIDE COVE BASE TILE CORNERS AT OUTSIDE AND INSIDE CORNERS
- QTB-1 **QUARRY TILE COVE BASE**  
MFR: DAL TILE OR EQUAL  
PRODUCT: QUARRY TILE COVE BASE  
COLOR: ARID GRAY  
SIZE: 6" X 6"  
GROUT: MATCH QT-1  
NOTES: PROVIDE COVE BASE TILE CORNERS AT OUTSIDE AND INSIDE CORNERS

**WINDOW TREATMENT**

- WT-1 **MANUAL ROLLER SHADE**  
MFR: SWF OR EQUAL  
SERIES: FABRIC  
NOTES: ROLLER SHADES THROUGHOUT DINING AND LIVING ROOMS

**FINISH MATERIAL LEGEND**

**BASE**

- RB-1 **RUBBER BASE**  
MFR: JONSONITE (OR EQUAL)  
COLOR: FAWN CB80  
HEIGHT: 4"  
USE: ON ALL WALLS, UNLESS OTHERWISE INDICATED

**PLASTICS**

- LAM-1 **PLASTIC LAMINATE**  
MFR: TARKETT  
COLOR/PATTERN: DESIGNER  
NOTES: COUNTERTOPS, DOORS, USE MATCHING PATTERNED EDGE BAND AT COUNTERS.
- FRP-1 **FIBERGLASS REINFORCED PANELS**  
MFR: MARLITE OR EQUAL  
SERIES: DESIGNER  
COLOR: WHITE  
NOTES: RESTROOM WALLS UP TO 4'-0"
- FRP-2 **FIBERGLASS REINFORCED PANELS**  
MFR: MARLITE OR EQUAL  
SERIES: SMOOTH  
COLOR: WHITE  
NOTES: KITCHEN AND PANTRY WALLS, OUTDOOR RESTROOM WALLS

**PAINT - INTERIOR**

- PT-1 **MAIN WALL PAINT**  
MFR: JONSONITE (OR EQUAL)  
COLOR: FAWN CB80  
HEIGHT: 4"  
USE: ON ALL WALLS, UNLESS OTHERWISE INDICATED
- PT-2 **ACCENT WALL PAINT**  
MFR: TARKETT  
COLOR: EGG SHELL  
SHEEN: FLAT  
NOTES: MAIN CEILING COLOR
- PT-3 **ACCENT WALL PAINT**  
MFR: TARKETT  
COLOR: EGG SHELL  
SHEEN: FLAT  
NOTES: MAIN CEILING COLOR
- PT-4 **TRIM PAINT**  
MFR: TARKETT  
COLOR: EGG SHELL  
SHEEN: FLAT  
NOTES: MAIN CEILING COLOR
- PT-5 **RESTROOM PAINT**  
MFR: TARKETT  
COLOR: EGG SHELL  
SHEEN: FLAT  
NOTES: MAIN CEILING COLOR
- PT-6 **CEILING PAINT**  
MFR: TARKETT  
COLOR: EGG SHELL  
SHEEN: FLAT  
NOTES: MAIN CEILING COLOR
- PT-7 **ACCENT CEILING PAINT**  
MFR: TARKETT  
COLOR: EGG SHELL  
SHEEN: FLAT  
NOTES: MAIN CEILING COLOR

**GLASS**

- GL-1 **MIRROR**  
MFR: CLEAR TEMPERED MIRROR  
TYPE: CLEAR TEMPERED MIRROR  
NOTES: 2" RADIUS AT CORNERS, MOUNTED ON MARINE-GRADE PLYWOOD.

**WOOD**

- WD-1 **FURNITURE GRADE PLYWOOD**  
MFR: FURNITURE GRADE PLYWOOD  
COLOR: MATT  
FINISH: MATT  
NOTES: ROOM DIVIDERS
- WD-2 **PAINT GRADE WOOD OR MDF**  
MFR: PAINT GRADE WOOD OR MDF  
COLOR: MATT  
FINISH: MATT  
NOTES: ROOM DIVIDERS

**TEXTILES**

- TEX-1 **PRIVACY CURTAIN**  
MFR: PRIVACY CURTAIN  
COLOR: MATT  
FINISH: MATT  
NOTES: PRIVACY CURTAINS IN DORMS

**METAL**

- MTL-1 **STAINLESS STEEL**  
TYPE: 304  
FINISH: MATT  
GAUGE: 16  
EDGE: 1/8" RADIUS  
NOTES: KITCHEN COUNTERTOPS, WELDED SEAMS TO BE SMOOTH AND FLAT, NO SHARP EDGES OR CORNERS.

**CONCRETE**

- CONC-1 **HONED CONCRETE**  
FINISH: HONED (LEVEL 1) AND SEALED  
NOTES: BACK OF HOUSE FINISH

**ACOUSTICAL WALL PANEL**

- WP-1 **ACOUSTICAL WALL PANEL**  
MFR: ACOUSTICAL WALL PANEL  
COLOR: MATT  
FINISH: MATT  
PANEL SIZE: 12" X 12"  
INSTALL METHOD: DIRECT GLUE  
NOTES: REFER TO ELEVATIONS FOR PLACEMENT

Stamp  
DRAWING REVISIONS  
# Description  
Date

FOR REFERENCE ONLY

MADRAS SHELTER  
CITY OF MADRAS  
DD - PROGRESS

MATERIAL SPECIFICATIONS

Sheet No.

A9.10

BLRB ARCHITECTS, P.S.

MADRAS SHELTER

CITY OF MADRAS

DD - PROGRESS

MATERIAL SPECIFICATIONS

Sheet No.

A9.10

BLRB ARCHITECTS, P.S.



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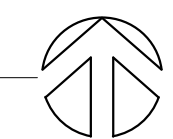
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D



1 FINISH FLOOR PLAN - LEVEL 1  
 0' 2' 4' 8' 1/4" = 1'-0" @ FULL SIZE



**FINISH PLAN GENERAL NOTES**

- A. DRAWINGS ARE SHOWN TO SCALE AS NOTED AS AIDS IN DETERMINING SIZE AND PROPORTION. ONLY WRITTEN DESCRIPTIONS AND SIZES SHALL BE UTILIZED FOR CONSTRUCTION. DRAWINGS SHALL NOT BE SCALED.
- B. UNLESS NOTED OTHERWISE, DIMENSIONS ON PLANS ARE:
  - FACE OF STUD (F.O.S.)
  - FACE OF CONCRETE (F.O.C.)
  - CENTERLINE OF DOOR AND WINDOW OPENINGS.
- C. FIXTURES AND EQUIPMENT SHOWN ARE FOR COORDINATION PURPOSES ONLY. REFER TO THE MANUFACTURER'S PRODUCT DATA, ENGINEERING DRAWINGS, AND SPECIFICATIONS FOR FIXTURE AND EQUIPMENT DESCRIPTIONS AND LOCATIONS.
- D. PRESERVATION OF ADJACENT OR EXISTING CONSTRUCTION:
  - AVOID DAMAGE TO EXISTING STRUCTURES, SIDEWALKS, CURBS, PAVING AND LANDSCAPING.
  - PATCH, REPAIR, OR REPLACE ANY ITEMS DAMAGED, OR AS DIRECTED BY THE PROPERTY OWNER.
- E. AVOID UNNECESSARY DISRUPTIONS TO THE FUNCTIONS AND ACTIVITIES OF ADJACENT BUILDINGS.
- F. CAREFULLY REVIEW ALL CONTRACT DOCUMENTS PRIOR TO CONSTRUCTION. BRING DISCREPANCIES OR CONFLICTING DATA TO THE ATTENTION OF THE ARCHITECT PRIOR TO COMMENCING WORK.
- G. UNLESS NOTED OTHERWISE, INSTALL DOORS WITH 4" FROM HINGE SIDE OF DOOR TO ADJACENT WALL FRAMING.
- H. CONTRACTOR TO VERIFY SIZES OF ROUGH DOOR AND WINDOW OPENINGS PRIOR TO ORDERING DOORS AND WINDOWS.

**FINISH LOCATION KEY**

- 4 - CEILING
- 3 - WALL FINISH
- 2 - WALL BASE
- 1 - FLOOR

**KEYNOTE LEGEND - FINISH PLAN**

#	DESCRIPTION	View Type
1	NO FLOORING UNDER LOCKERS OR CASEWORK	FINISH PLAN

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FOR REFERENCE ONLY

#	Date	Description

**MADRAS SHELTER**  
 CITY OF MADRAS  
 DD - PROGRESS

Drawing Title:	FINISH PLAN
Date:	3/29/2022
Drawn By:	Author
Revised:	
Project No.:	0220441.000

Sheet No. **A9.11**

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